



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950
 T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Permit & Request Application

Project Permit(s) & Fees			
Permit: <u>AP</u> <u>HPP</u>	Fee: <u>\$2363</u> <u>\$901</u>	Multiple Permit Discount: _____	App. #: <u>AAP 13-387</u>
			Date: <u>11-18-13</u>
			Received By: <u>MF</u>
			Total Fee: <u>\$3264.00</u>

Project/Property Information			
Project Address: <u>222 19th St. P.G.</u>	APN: _____		
Lot: <u>20</u> Block: <u>45</u>	Tract: _____		
ZC: <u>R-3</u> GP: _____	Lot Size: <u>30' x 120'</u>		
Project Description: <u>REMODEL (E) RESIDENCE, PROVIDE (N) FOUNDATION & CONVENTIONAL WALL FRAMING, CREATE LARGER FAMILY ROOM, ADD (N) BEDROOM & MASTER BEDROOM SUITE</u> <u>ADD NEW DECK, REMODEL EXIST. KITCHEN & REPLACE ALL WINDOWS W/ WOOD CLAD WINDOWS (SAME SIZE & LOCATION AT EXIST. HOME).</u>			
Applicant Name: <u>CHARLES HUFF ARCHITECT</u>	Phone #: <u>925/462-9226</u>		
Mailing Address: <u>4441 RAILROAD AVE SUITE B PLEASANTON, CA 94566</u>			
Email Address: <u>CHARLES@CHARLESHUFFARCHITECT.COM</u>			
Owner Name: <u>MATT TANZI</u>	Phone #: <u>408/218-5809</u>		
Mailing Address: _____			
Email Address: _____			

Permit(s)/Request(s)			
<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> VAR: Variance
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> AUP: Administrative UP	<input checked="" type="checkbox"/> HPP: Historic Preservation Permit	<input type="checkbox"/> AVAR: Administrative VAR
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HDP: Historic Demolition Permit	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> ADC: AP Design Change	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> HRP: Historic Relocation Permit	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> C-1 Interp. of Permitted Uses	<input type="checkbox"/> HD: Historic Determination	<input type="checkbox"/> IS & ND/MND: Initial Study
<input type="checkbox"/> ASP: Administrative SP	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit w/ Dev't	<input type="checkbox"/> EIR: Env. Impact Report
<input type="checkbox"/> TTM: Tentative Tract Map	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Permit Undocumented Unit	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> FTM: Final Tract Map	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> GPA: General Plan Amendment	<input type="checkbox"/> Other _____
<input type="checkbox"/> SPR: Site Plan Review	<input type="checkbox"/> COC: Certificate of Compliance	<input type="checkbox"/> ZCA: Zoning Code Amendment	<input type="checkbox"/> Other _____

CEQA Determination	Review Authority	Does the property have?	Is the property within?
<input type="checkbox"/> Cat. Exempt, Class:	<input type="checkbox"/> Staff <input type="checkbox"/> NRC	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> ASA: Archaeologically Sensitive Area ¹
<input type="checkbox"/> ND: Negative Declaration	<input type="checkbox"/> ZA <input type="checkbox"/> HRC	<input type="checkbox"/> Active Building Permit	<input type="checkbox"/> CZ: Coastal Zone ²
<input type="checkbox"/> MND: Mitigated ND	<input type="checkbox"/> SPRC <input type="checkbox"/> PC	<input type="checkbox"/> Active Code Violation	<input type="checkbox"/> ASBS: Drainage into ASBS Watershed
<input type="checkbox"/> EIR: Environmental Impact Report	<input type="checkbox"/> ARB <input type="checkbox"/> CC		<input type="checkbox"/> HRI: Historic Resources Inventory ^{3,4}
			<input type="checkbox"/> BP: Butterfly Preserve Buffer

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. **If the owner is not available for signature, written/electronic and signed verification from the owner shall be required at the time of submittal agreeing to 1) the Applicant acting as their agent, 2) this Certification and 3) the Applicant acknowledgement below.**

<u>[Signature]</u>	<u>11/18/13</u>	<u>[Signature]</u>	<u>11/18/13</u>
Applicant Signature	Date	Owner Signature (Required)	Date

PROJECT DATA SHEET

Project Address: 222 19TH ST. P.G. Submittal Date: 3/31/14
 Applicant(s): 222 19TH LLC Permit Type(s) & No(s): ARB / HPP

	REQUIRED/ Permitted	Existing Condition	Proposed Condition	Notes
Zone District	R-3	R-3	R-3	
Building Site Area	—	3600	3600	
Density (multi-family projects only)	—	—	—	
Building Coverage $50\% \times 3600 = 1800$	1800 S.F.	* 700 S.F.	* 1020 S.F.	* EXCLUDES 204 S.F. (GARAGE)
Site Coverage $50\% \times 3600 = 1800$	1800 S.F.	760 S.F.	* 1080 S.F.	* INCLUDES PORCH & GARAGE
Gross Floor Area	2400 S.F.	1024 S.F.	1344 S.F.	* INCLUDES 60 S.F. COVERED PORCH
Square Footage not counted towards Gross Floor Area	—	264 S.F. (GARAGE)	264 S.F. (GARAGE)	
Impervious Surface Area Created and/or Replaced	—	2576 S.F.	2253 S.F.	
Exterior Lateral Wall Length to be demolished in feet & % of total*	—	—	42.5 FT / 127 FT. (TOTAL) = 33%	
Exterior Lateral Wall Length to be built	—	—	63'-6"	
Building Height	30'/24' PL.	18'-9"	20'-9" *	* (N) RISE @ BACK - 20'-9"
Number of stories	—	1	1	
Front Setback	8'-0"	10'-0"	10'-0"	
3'-0" (SOUTH) Side Setback (specify side) $30 \times 10\%$	3'-0" (SOUTH)	5'-0"	5'-0"	
3'-0" (NORTH) Side Setback (specify side) $30 \times 10\%$	(NORTH) 3'-0"	1'-0"	1'-0"	
Rear Setback (1 STORY)	5'-0"	68'-0"	63'-0"	
Garage Door Setback	20'-0"	3'-6" *	3'-6" *	* GARAGE @ REAR OF PROPERTY
Covered Parking Spaces	1 COVERED	1 COVERED	1 COVERED	
Uncovered Parking Spaces	1	0	1 UNCOVERED	* (N) 9'x20' SPACE
Parking Space Size (Interior measurement)	9' x 20'	11' x 21'-0"	11' x 21'-0"	
Number of Driveways	1	0	0	
Driveway Width(s)	N/A	N/A	N/A	
Back-up Distance	N/A	N/A	N/A	
Eave Projection (Into Setback)	3' maximum	1'-0"	1'-0"	
Distances Between Eaves & Property Lines	3' minimum	6" (NORTH) 4'-0" (SOUTH)	6" (NORTH) 4'-0" (SOUTH)	
Open Porch/Deck Projections	4'-0" INTO FRONT S.B.	5'-0" TO FRONT PROP. LINE		* 5'-0" TO FRONT PROP. LINE REAR FRONT S.B. 8'-0"
Architectural Feature Projections	—	N/A	N/A	
Number & Category of Accessory Buildings	—	0	0	
Accessory Building Setbacks	—	N/A	N/A	
Distance between Buildings	—	43'-0"	39'-0"	DISTANCE FROM ADDITION TO GARAGE
Accessory Building Heights	—	N/A	N/A	
Fence Heights	6'-0"	6'-0"	6'-0"	

*If project proposes demolition to an HRI structure, also indicate % of proposed demolition of the surface of all exterior walls facing a public street or streets, if applicable.

P A S T
CONSULTANTS LLC

Seth A. Bergstein
415.515.6224
seth@pastconsultants.com

March 17, 2014

Matt Tanzi
222 19th Street, LLC
6711 Mount Leneve Drive
San Jose, CA 95120

Re: Phase Two Historic Assessment for 222 19th Street, Pacific Grove, CA
APN. 006-291-009-000

Dear Mr. Tanzi:

This letter evaluates the proposed alterations to 222 19th Street, Pacific Grove, CA. PAST Consultants, LLC (PAST) completed a site visit to the property on March 13, 2013 to view the property's existing condition and the location of proposed alterations. The modified circa-1890s house has received numerous alterations. These include widening of the original footprint by moving the north (side) façade wall outward; extending the front porch roofline to the north to meet the north façade wall; insertion of a fixed-sash window into the front (east) façade wall adjacent to the porch; reglazing of existing sash windows; insertion of an aluminum slider window into the south (side) façade wall and construction of two rear additions (now removed). While these alterations have stripped the building of a substantial amount of historic integrity, the house is presently on the City of Pacific Grove's Historic Resources Inventory (HRI) and is considered to be locally significant. Design Drawings by Charles Huff, Architect dated November 2013 and approved by the City of Pacific Grove Community Development Department on November 18, 2013 are attached to this document.

The Secretary of the Interior's Standards

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

In **Rehabilitation**, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the **Standards for Rehabilitation and Guidelines for Rehabilitation** to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.¹

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (accessed via <http://www.nps.gov/hps/tps/standguide/>).

Summary of Proposed Alterations

Proposed alterations for 222 19th Street, Pacific Grove affecting the exterior include:

- Removal of non-historic porch railings and replacement with new railings.
- Removal of fixed pane window in front (east) façade wall and replacement with a new double-hung sash window to match existing sash configurations.
- Removal of severely deteriorated double-hung sash windows and in-kind replacement with new, wood-clad, one-over-one sash windows. Historic window surrounds to be preserved.
- Installation of a new foundation and replacement of severely deteriorated wood substructure.
- Installation of a new rear addition.

Two images of the house appear as **Figures 1 and 2** below.



Figures 1 and 2. Left image shows the front (east) elevation, with moving of the north façade wall, porch roof extension, and newer fixed sash window shown with arrows. Right image shows the front (east) and side (south) facades. Porch rails have been replaced (arrows). The newer aluminum slider window is shown with an arrow.

Character-defining Features of 222 19th Street

The house has been substantially altered. The remaining character-defining features are:

- Front-facing, gable roof massing.
- Chamfered front porch columns.
- Original window surrounds on front (east) and side (south) elevations.
- Board-and-batten siding with beveled battens.

Previous Alterations to 222 19th Street

The circa-1890s house underwent numerous alterations, including:

- Extension of the side (north) façade wall to the north (**Figure 1**).
- Extension of the front (east) porch roofline to the limit of the newer north wall (**Figure 1**).
- Removal of original porch railings and replacement with non-historic railings (**Figure 2**).
- Installation of a fixed-pane window in the front (east) façade wall, adjacent to and north of the porch (**Figure 1**).
- Installation of an aluminum slider window on the side (south) façade wall (**Figure 2**).
- Construction of two rear additions (now removed).

Based on the fabric evidence found on the building, it appears that most of the alterations occurred in the 1950s.

Evaluation of Proposed Alterations to 222 19th Street

For the proposed alterations to 222 19th Street, the following lists the ten *Standards* for rehabilitation, with an evaluation given below each standard.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The proposed alterations impact historic materials minimally, allowing the building to continue its historic residential use.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The previous alterations have removed many of the character-defining features of the original house. The proposed alterations impact the house minimally, as they impact the rear, non-primary and least visible side of the house. The window replacement and replacement of porch railings on the front (east) elevation replace non-historic, circa-1950s remodelings. The remaining proposed alterations do not substantially remove any distinctive materials, features, spaces or spatial relationships that communicate the building's historic significance.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed alterations do not add conjectural features or elements from other historic properties that would confuse the remaining character-defining features of the subject property.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

This Standard does not apply to the buildings, as no changes have acquired historic significance.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The proposed rehabilitation design preserves original historic character-defining features, including the beveled board-and-batten siding, porch columns and window surrounds. Proposed window sash replacements will be in the original historic window openings and will preserve the wood window surrounds.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The proposed rehabilitation design will repair the existing window surrounds, exterior siding and front porch columns. The existing window sash contain replaced glazing and severely deteriorated wood sash elements that are beyond repair. New window sash will match the original wood sash regarding design and materials.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

This Standard does not apply, as chemical and physical treatments to historic fabric are not proposed.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

This Standard does not apply, as archaeological features are not identified at the site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The proposed rear addition will be differentiated from the original design by the use of flat battens on the board-and-batten siding to distinguish the new siding from the existing beveled siding. The proposed addition is located to the rear of the lot and is set back significantly from the street view.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

If desired, the new rear addition could be removed again and the building returned to its present configuration, thereby not impacting the form and integrity of the original building.

Conclusion

In conclusion, the proposed design alterations to 222 19th Street, Pacific Grove meet the *Secretary of the Interior's Standards for Rehabilitation*. The proposed changes do not impact the remaining character defining features or historic integrity of the building. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Please contact me if you have any questions about this evaluation.

Sincerely,



Seth A. Bergstein, Principal

Cc: Charles Huff, Architect, AIA
City of Pacific Grove, Community Development Department

Attachments: Design Drawings, "Remodel and Addition for Matt Tanzi; 222 19th St., Pacific Grove," by Charles Huff, Architect, AIA, November, 2013 (4 sheets)

General Notes:

1. The Contractor and/or subcontractors shall visit the site prior to submitting drawings and shall notify the Designer of any discrepancies prior to starting work.
2. The Contractor and/or subcontractors shall verify all dimensions on the drawings and shall notify the Designer of any discrepancies prior to starting work.
3. The Contractor and/or subcontractors' work shall conform to applicable Federal, State and Local Building Codes.
4. Each subcontractor is considered a specialist in their respective field and shall, prior to submission of bid or performance of work, notify the General Contractor or Owner of any work called out on the drawings in his trade that cannot be fully guaranteed.
5. The Contractor and/or subcontractors shall be responsible for the appropriate "hook-up" to all utilities required to support their work.
6. Where construction details are not shown or noted for any part of the work, the details shall be the same as for other similar work.
7. The Contractor shall determine the location of the utility services in the area prior to excavation.
8. The Contractor and/or subcontractors shall be responsible for the proper drainage of the site.
9. Trade names and manufacturers referred to are for quality standards only. Substitutes will be permitted as approved by the Owner.
10. Mechanical exhaust in the bathroom shall provide five (5) air changes per hour.
11. All vents and/or ducts which penetrate roofs or exterior walls are to be properly sleeved, flashed and caulked.
12. All roofing materials (as noted on drawings) shall be applied in strict conformance with the manufacturers written recommendations and the 2010 C.A.Z. The roof covering shall have a class "B" or better rating.
13. All roofing materials are to be galvanized.
14. Drywall and stucco application shall comply with 2010 C.R.C.
15. Paint all metal vents and grills to match adjacent exterior color (U.N.O.)
16. Concrete for footings shall have a minimum compressive strength of 2500 psi at 28 days and shall be composed of 1 part cement, 3 parts sand, 4 parts of 1" maximum size rock, and not more than 7 1/2 gallons of water per sack of cement.
17. Reinforcing steel shall be deformed bars conforming to A.S.T.M. A-615 Grade 40 (unless noted by engineer).
18. Reinforcing steel shall be placed in accordance with The recommended practice for placing reinforcing bars' latest edition of C.R.S.I.
19. All exterior walls to have a full thick foil backed batt insulation having a heat flow rating of R-13. All non-exposed ceilings to have foil backed batt insulation having a heat flow rating of R-38. All floor insulation to be R-19 (unless otherwise noted in Title doc).
20. Foundation sill plates shall be securely fastened to the footings as shown on details. Exterior wall sills receiving fasteners shall be 7/8" bolt dia. min. imbedded 7" minimum into the concrete. (Unless noted otherwise by engineer).
21. All electrical work shall comply with the 2010 E.C.
22. All ground wires shall be unbroken to the panel ground.
23. Inconsistencies which may occur in drawings and/or General Notes shall be brought to the attention of the Designer before proceeding with the work.
24. Figures shall have procedures over sealed measurements and details shall be verified and confirmed by the Contractor and/or subcontractor, and signing of the contract with the Owner shall be presumptive evidence that the Contractor is thoroughly familiar with all local conditions and peculiarities.
25. All drawings and General Notes shall be thoroughly examined by each Contractor before he or she enters into the Contract.

Finish Notes:

1. Floor materials as noted on Finish Schedule.
2. All walls to be 5/8" Gypsum board wallboard (Unless noted otherwise).
3. All basins material as noted on Finish Schedule.
4. All non-exposed ceilings to be 5/8" Gypsum wallboard, skip troweled to match the existing walls. Bathrooms to receive semi-gloss enamel paint over drywall.
5. All interior doors to be 1 3/8" hollow core (unless noted otherwise). See plan for width.
6. All doors to be 6" nominal height (unless noted otherwise).
7. Gypsum wallboard subcontractor to indicate on exterior surfaces of wallboard the location of plumbing and electrical lines and avoid any penetration of these lines with screws, etc.
8. Paint all gutters to match fascia and paint all downspouts to match adjacent surfaces.
9. Field verify all fixed glass sizes.

- Materials:
- Sheathing: 1x6
 - 2x6
 - Studs/Plates: 2x4 / 2x6 studs to sole plate
 - Plate, lower to top
 - Plate, upper to lower
 - Laps, 2" of splices with
 - Plate lap at corners
 - Double Studs
 - To support
 - At laps (12" min.)
 - Multiple joists
 - Blocking to joist bearing
 - Blocking to joist
 - Blocking to studs
- Joists/Rafters:
- At laps (12" min.)
 - Multiple joists
 - Blocking to joist bearing
 - Blocking to joist
 - Blocking to studs
- Blocking/Bridging:
- Blocking to joist bearing
 - Blocking to joist
 - Blocking to studs
- Nailing not noted above shall be 2-8d for 1" material at all contact points and 2-16d for 2" material at all contact points. Use 16d corner nails where exposed to weather. Use plywood nails for nailing of all structural sheathing.

Roof Sheathing:
Minimum 5/8" plywood exterior grade sheathing with 8 d at 6" and 12" o.c. (Unless noted otherwise by engineer).

Gypsum Wall Board:
Minimum 5/8" thick attached with 5d dr-lite nails (or equivalent) at 7" o.c.

THE ARCHITECT OR ENGINEER OF RECORD WILL PERFORM THE SPECIAL INSPECTION FOR EPOXY JOINT INSTALLATION

ALL PLANS TO COMPLY WITH 2010 C.R.C., C.P.C., C.M.C., C.E.C., C.R.C. and CALIFORNIA ENERGY CODE.

Finish Notes:

1. Structural framing lumber shall be Douglas Fir Larch. See framing plan for header and beam calouts and see General Structural Notes for Lumber Grading.
2. Plywood Sheathing: Sheathing shall be exterior Douglas Fir plywood sheathing with long dimensions perpendicular to the direction of the joists or the studs (unless noted otherwise). Sags in the 4'-0" in adjacent panels. Joists shall fall at centerline of joists or studs and discontinuities edges shall be blocked where noted on the plans. See plans for nailing.
3. Provide 2x blocking full depth of floor joists at 8'-0" o.c. and 2x blocking full depth of other joist at 10'-0" o.c. See framing plans for additional blocking that might be required. Blocking may be omitted where roof joists are 8' or less in depth.
4. Cover wood framing with 15lb. waterproof building paper in shower enclosure.
5. All nails to be common wire.
6. Cutting, notching, or drilling of beams or joists to be permitted only as shown on detail sheet.
7. All exterior wall framing to receive 15lb. waterproof building paper under exterior wall material.
8. Wood joists and floor closer than 18" or wood girders and support closer than 12" to the ground shall be pressure treated wood or foundation grade Redwood.
9. Foundation plates or sills shall be pressure treated wood.
10. Provide 1.0 square foot of foundation ventilation for each 150 square feet under floor area as per C.R.C. (2/19).
11. Provide double joists under parallel partitions. (Unless noted otherwise).
12. Provide double top plate with minimum 48" lap splice.

Room Finish Schedule:

ROOM	FLOOR	BASE	WALL	CEILING	HEIGHT
CARPET	CARPET	CARPET	CARPET	CARPET	
SHRETT VINYL	SHRETT VINYL	SHRETT VINYL	SHRETT VINYL	SHRETT VINYL	
PANHWOOD	PANHWOOD	PANHWOOD	PANHWOOD	PANHWOOD	
OAK	OAK	OAK	OAK	OAK	
WOOD	WOOD	WOOD	WOOD	WOOD	
7/8" GYP. BR.	7/8" GYP. BR.	7/8" GYP. BR.	7/8" GYP. BR.	7/8" GYP. BR.	
5/8" GYP. BR.	5/8" GYP. BR.	5/8" GYP. BR.	5/8" GYP. BR.	5/8" GYP. BR.	
FLAT	FLAT	FLAT	FLAT	FLAT	
SMALL	SMALL	SMALL	SMALL	SMALL	

INDEX

INDEX	DESCRIPTION
1	Surface mounted ceiling light
2	Wall bracket light
3	Recessed ceiling light
4	Wall or base register
5	Smoke detector
6	220v Convenience lamp
7	110-115v Convenience outlet
8	110-115v Hot, Switched outlet
9	220v Convenience outlet
10	220v Convenience outlet
11	220v Convenience outlet
12	220v Convenience outlet
13	220v Convenience outlet
14	220v Convenience outlet
15	220v Convenience outlet
16	220v Convenience outlet
17	220v Convenience outlet
18	220v Convenience outlet
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37	220v Convenience outlet
38	220v Convenience outlet
39	220v Convenience outlet
40	220v Convenience outlet
41	220v Convenience outlet
42	220v Convenience outlet
43	220v Convenience outlet
44	220v Convenience outlet
45	220v Convenience outlet
46	220v Convenience outlet
47	220v Convenience outlet
48	220v Convenience outlet
49	220v Convenience outlet
50	220v Convenience outlet

SCOPE OF PROJECT

REMODEL EXISTING RESIDENCE TO PROVIDE NEW 2x4 CONCENTRAL FRAMING AT EXISTING SINGLE WALL EXTERIOR INTERIOR WALLS. CREATE ADD NEW BEDROOM AND MASTER BEDI COM & BATH. ADD NEW DECK, REMODEL EXISTING KITCHEN, REPLY CE ALL WINDOWS WITH NEW CLAD WOOD WINDOWS.

THE EXISTING RESIDENCE DOES NOT HAVE FIRE SPRINKLERS

REMODEL AND REMODEL INTERIOR FINISHES TO MATCH EXISTING FINISHES. ALL FINISHES TO BE APPROVED BY THE ARCHITECT. ALL FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE GENERAL SITE AND EXTERIOR FINISHES. ALL FINISHES TO BE APPROVED BY THE ARCHITECT.

SCOPE OF PROJECT

REMODEL EXISTING RESIDENCE TO PROVIDE NEW 2x4 CONCENTRAL FRAMING AT EXISTING SINGLE WALL EXTERIOR INTERIOR WALLS. CREATE ADD NEW BEDROOM AND MASTER BEDI COM & BATH. ADD NEW DECK, REMODEL EXISTING KITCHEN, REPLY CE ALL WINDOWS WITH NEW CLAD WOOD WINDOWS.

SCOPE OF PROJECT

REMODEL EXISTING RESIDENCE TO PROVIDE NEW 2x4 CONCENTRAL FRAMING AT EXISTING SINGLE WALL EXTERIOR INTERIOR WALLS. CREATE ADD NEW BEDROOM AND MASTER BEDI COM & BATH. ADD NEW DECK, REMODEL EXISTING KITCHEN, REPLY CE ALL WINDOWS WITH NEW CLAD WOOD WINDOWS.



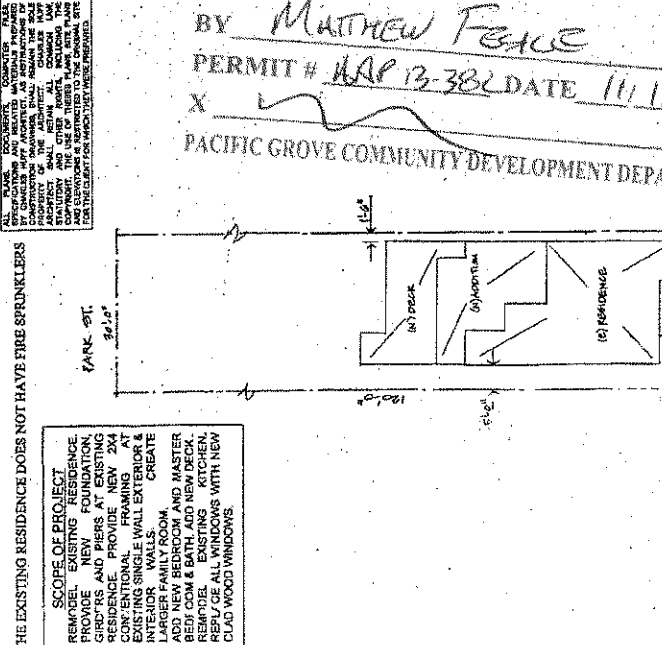
122 9th St
Pacific Grove
Pacification
(831) 656-1493
(831) 492-9228
CHARLES HUFF, AIA
ARCHITECT

CONSTRUCTION TYPE: VB
OCCUPANCY GROUP: R-3U

FLOOR AREA	2,600 sq ft
AREA OF EXIST. HOUSE	3,200 sq ft
AREA OF ADDITION	3,200 sq ft
NEW TOTAL AREA	12,200 sq ft
F.A.R.	32.2 F.O.C.

REMODEL AND ADDITION FOR
MATT TANZI
APPROVED
222 19th St.
Pacific Grove

Sheet No. **7.b**



BY *Matthew Feale*
PERMIT # *WAP 13-382* DATE *11/10/13*
PACIFIC GROVE COMMUNITY DEVELOPMENT DEPARTMENT
17th St.
10-118

SITE PLAN

REMODEL AND ADDITION FOR:
MATT TANZI
 222 19th St.
 Pacific Grove

CHARLES HUFF, A.I.A.
 ARCHITECT
 Pacific Grove
 4441 Railroad Ave., Suite B
 Pleasanton (925) 462-4926

Permit No.	
Job No.	
Drawn	
Revisions	

APPROVED

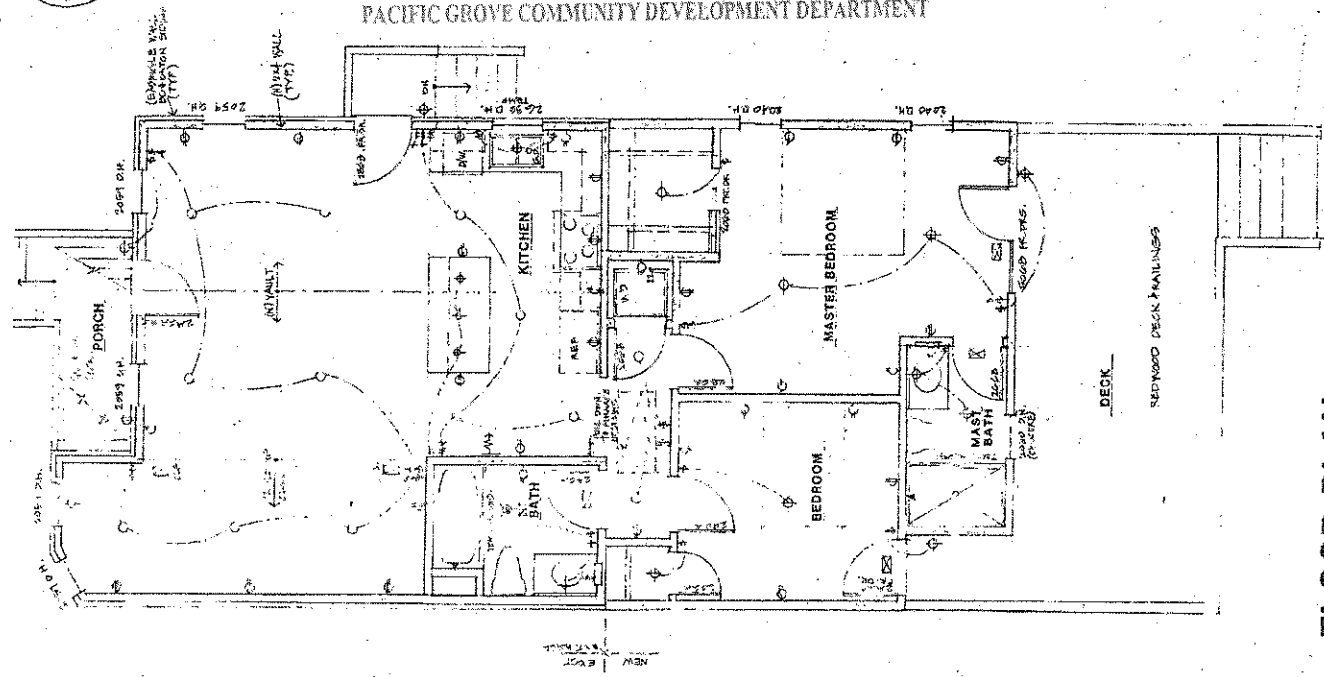
BY *Matt Huff*
 PERMIT # *KAP 13-382* DATE *11/13/13*

AREA ANALYSIS
 (B) HOME - 299 S.F.
 ADDITION - 320 S.F.
 TOTAL - 619 S.F.
 70% FLOOR AREA
 20% FLOOR AREA
 45% FLOOR AREA
 45% FLOOR AREA

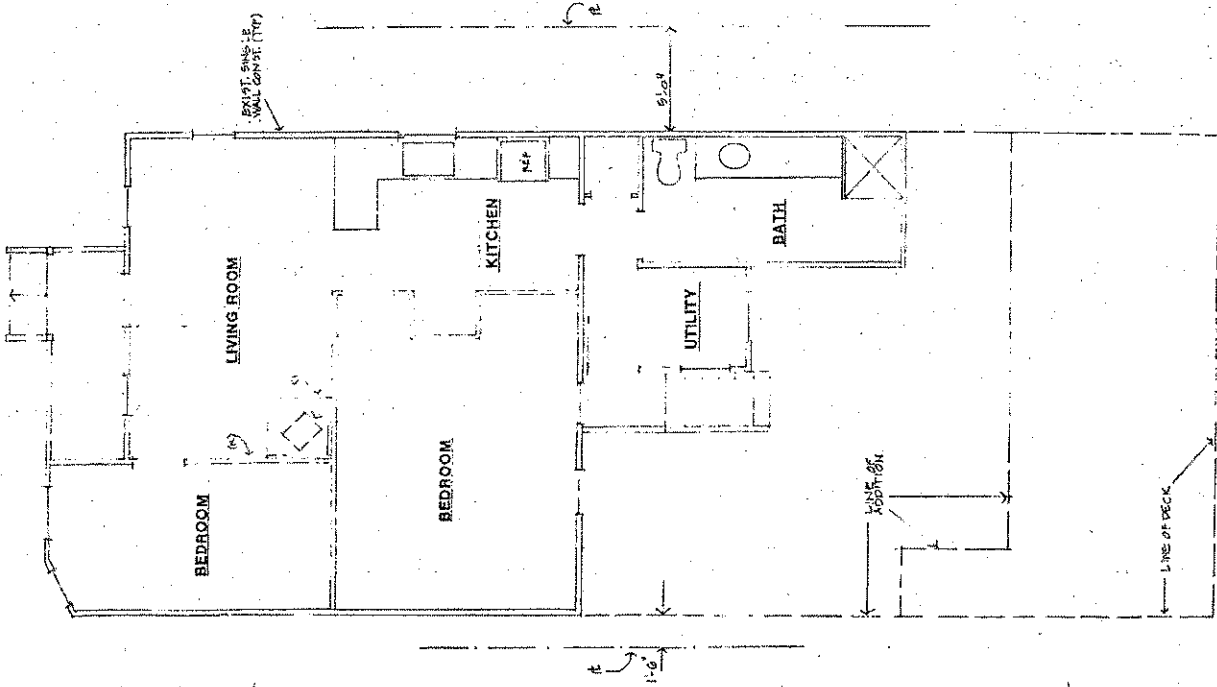
NOTE: ALL WINDOWS
 TO BE NEW WOOD
 FINISH OUTSIDE
 UNLESS NOTED



PACIFIC GROVE COMMUNITY DEVELOPMENT DEPARTMENT



FLOOR PLAN 1/4" = 1'-0"
 SECTION # 340 SF



EXISTING FLOOR PLAN 1/4" = 1'-0"
 SECTION # 400 S.F.

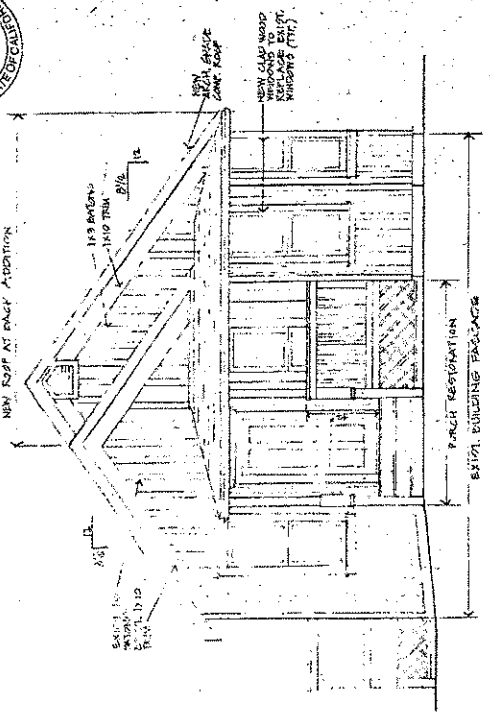
122 9th St.
 Pacific Grove
 441 Railroad Ave., Suite B
 Pleasanton
 (925) 555-1492
 (925) 452-9228
CHARLES HUFF, A.I.A.
ARCHITECT

11/18/13
 050
 000
 000
 PERSONS

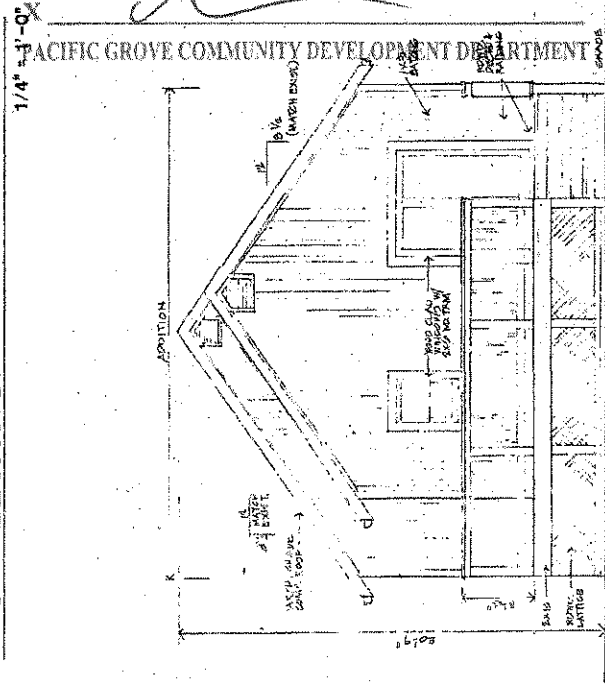
222 19th St.
 Pacific Grove
MATT TANZI
 REMODEL AND ADDITION FOR
APPROVED

Sheet No. **92**

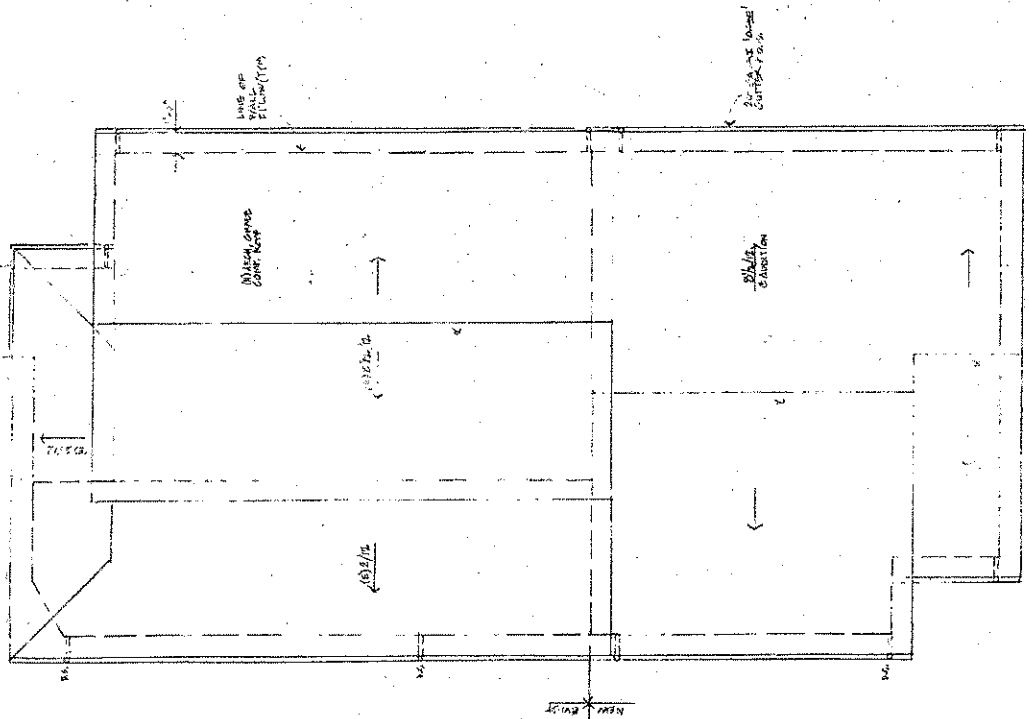
BY MATTHEW FESKE
 PERMIT # MAPB-382 DATE 11/18/13



EAST ELEVATION



WEST ELEVATION



ROOF PLAN

1/4" = 1'-0"

1/4" = 1'-0"

1/4" = 1'-0"

NEW ROOF

CHARLES HUFF, A.I.A. ARCHITECT
 122 9th St. Pacific Grove, Pleasanton
 (925) 452-8226 (925) 452-1492

1/1/13
 Job No.
 Drawn
 Revisions

REMODEL AND ADDITION FOR:
MATT TANZI
 222 19th St. Pacific Grove

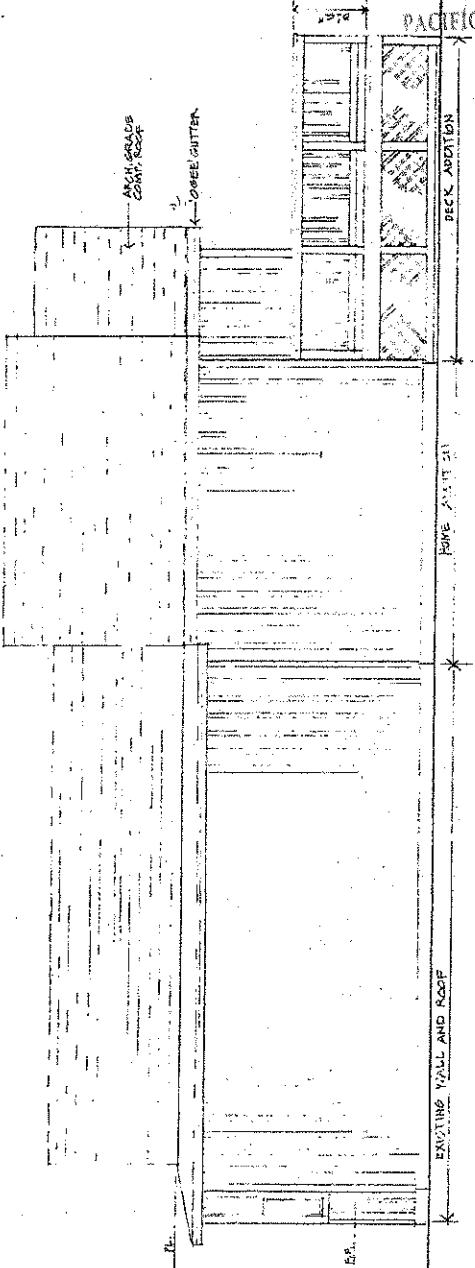
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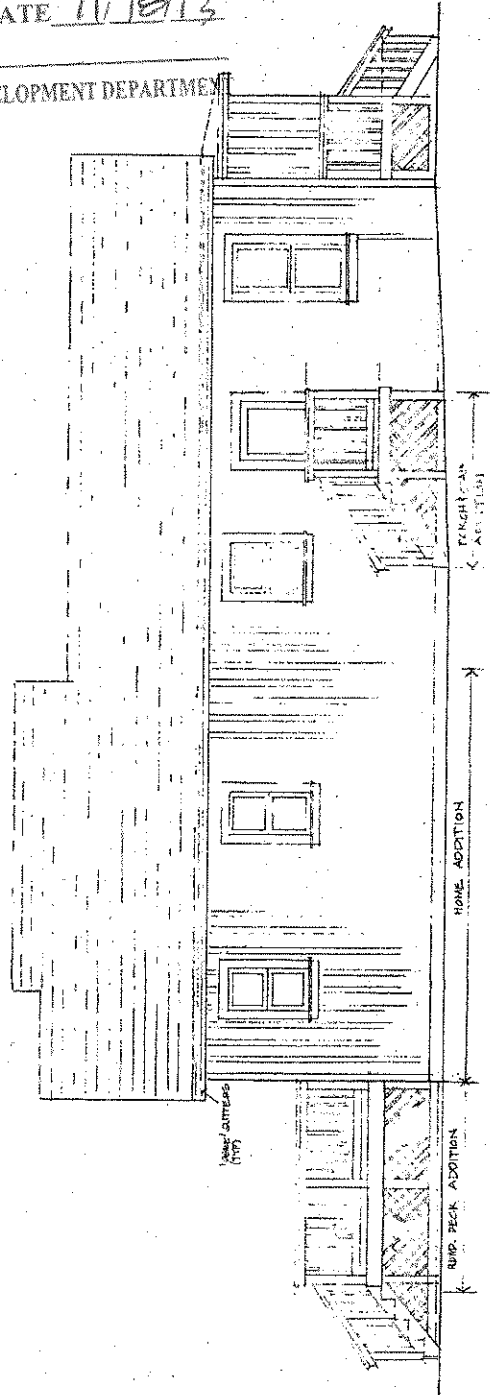
APPROVED

BY Matthew Feske
 PERMIT # AA13-382 DATE 11/18/13

PACIFIC GROVE COMMUNITY DEVELOPMENT DEPARTMENT



NORTH ELEVATION



SOUTH ELEVATION

1/4" = 1'-0"



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T : 831.648.3183 • F : 831.648.3184 • www.ci.pg.ca.us/cdd

**ARCHITECTURAL PERMIT AND HISTORIC PRESERVATION PERMIT 13-382
FOR A PROPERTY LOCATED AT 222 19TH STREET TO CONSTRUCT AN APPROXIMATELY 320
SQUARE FOOT ADDITION TO AN EXISTING 700 SQUARE FOOT, SINGLE FAMILY RESIDENCE AND
RELIEF FROM SETBACK AND PARKING REQUIREMENTS DUE TO PROPERTY'S LISTING ON THE
HISTORIC RESOURCES INVENTORY**

FACTS

1. The subject site is located at 222 19th St. Pacific Grove, CA 93950
2. The subject site has a designation of High Density Residential (29 dwelling units/acre) on the City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-3 zoning district.
4. The subject lot site is approximately 3,600 square feet.
5. The subject site is a single-family residence.
6. The property is listed on the City of Pacific Grove Historic Resources Inventory.
7. The property is located within the ASBS Watershed zone.
8. The project will not cause a substantial adverse change in the significance of a Historic Resource. This project has been determined to be Exempt under CEQA Guidelines 15331.
9. A Phase II Historic Assessment dated March 17, 2014 by PAST Consultants was completed for the property.
10. The subject site encroaches into the northeast side setbacks, the garage encroaches into the northwest site setback, and the site does not conform to R-3 parking requirements.
11. The project is requesting a Historic Preservation Permit for relief from setbacks and parking requirements per Section 37.76.060 of the Municipal Code.

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-3 zoning district with the exception of parking requirements and setbacks, and the existing front setback is legal non-conforming.
2. The Historic Preservation Permit Process allows relief from setbacks and parking requirements per Section 23.76.060. The R-3 zone requires two covered parking spaces and the proposed development will maintain the single car garage in the rear of the home. The R-3 zone requires a side yard setback of 3 feet, and the proposal will encroach approximately 1 foot and 6 inches into the setback area, maintaining an already existing non-conforming setback. The proposed setback encroachments permit preservation and protection of the existing historic structure per Section 23.76.010.
3. The proposed project is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties in that historic resources will not be obscured, damaged or destroyed. The proposed alterations and addition are reversible.
4. The architecture and general appearance of the completed project are compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines No.'s 1, 2, 4, 24, 28, and 32;
5. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and
6. The Board has been guided by and has made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences.

PERMIT

Architectural Permit to allow:

- 1) A property located at 222 19th Street to construct an approximately 320 square feet addition to an existing 1024 square foot family residence for a total of 1,344 Square Feet.

Historic Preservation Permit to allow:

- 1) Relief from side setback requirements.
- 2) Relief from parking requirements.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved plans entitled "222 19th St. LLC" March 31, 2014 on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Historic.** Any historic elements removed from the historic dwelling, including but not limited to windows, and doors, must either be reused on-site or stored for future use, to the greatest extent practicable.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes APPROVAL of a 320 square foot addition to a single family residence and relief from parking and setbacks requirements, AP/HPP 13-406.
3. This permit shall become effective upon the expiration of the 10-day appeal period.

4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 8th day of April, 2014, by the following vote:

AYES:

NOES:

ABSENT:

APPROVED:

Jennifer Groben, Secretary

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Matt Tanzi, Owner

Date

General Notes:

- The Contractor and/or subcontractors shall visit the site prior to submitting bids.
- The Contractor and/or subcontractors shall verify all dimensions on the drawings and shall notify the Designer of any discrepancies prior to starting work.
- The Contractor and/or subcontractors' work shall conform to applicable Federal, State and Local Building Codes.
- Each subcontractor is considered a specialist in their respective field and shall, prior to submission of bid or performance of work, notify the General Contractor or Owner of any work called out on the drawings in his trade that cannot be fully guaranteed.
- The Contractor and/or subcontractors shall be responsible for the appropriate "hook-up" to all utilities required to support their work.
- Where construction details are not shown or noted for any part of the work, the details shall be the same as for other similar work.
- The Contractor shall determine the location of the utility services in the area prior to excavation.
- The Contractor and/or subcontractors shall be responsible for the proper drainage of the site.
- Trade names and manufacturers referred to are for quality standards only. Substitutes will be permitted as approved by the Owner.
- Mechanical exhaust in the bathroom shall provide five (5) air changes per hour.
- All vents and/or ducts which penetrate roofs or exterior walls are to be properly sleeved, flashed and counter flashed.
- All roofing materials (as noted on drawings) shall be applied in strict conformance with the manufacturers written recommendations and the 2013 C.R.C. The roof covering shall have a class "B" or better rating insulation values- Ceiling R-38, Wall R-13, Floor R-19, Duct R-6.
- All roofing nails are to be galvanized.
- Drywall and stucco application shall comply with 2013 C.R.C.
- Paint all metal vents and grills to match adjacent surface color (U.N.O.)
- All Construction shall comply with the 2013 C.R.C.
- Concrete for footings shall have a minimum compressive strength of 2500 psi at 28 days and shall be composed of 1 part cement, 3 parts sand, 4 parts of 1" maximum size rock, and not more than 7 1/2 gallons of water per sack of cement.
- Reinforcing steel shall be deformed bars conforming to A.S.T.M. A-615 Grade 40 (unless noted by engineer).
- Reinforcing steel shall be placed in accordance with "The recommended practice for placing reinforcing bars" latest edition of C.R.S.I.
- Lap splice continuous reinforcing steel a minimum of 4 diameters or 2'-6" unless otherwise noted. Minimum cover for reinforcing steel: Footing-3", Walls-1 1/2" (exposed side) and 2" (against earth). (Unless noted otherwise by engineer).
- Machine bolts and anchor bolts shall conform to A.S.T.M. A-307.
- All exterior walls to have a full thick foil backed batt insulation having a heat flow rating of R-13. All non-exposed ceilings to have foil backed batt insulation having a heat flow rating of R-38. All floor insulation to be R-19 (unless otherwise noted in Title doc).
- Foundation still plates shall be securely fastened to the footings as shown on details. Exterior wall sills receiving fasteners shall be 7/8" dia. min. to a maximum of 12" from each cut end of the sill. Anchor bolts shall be imbedded 7" minimum into the concrete. (Unless noted otherwise by engineer).
- All electrical work shall comply with the 2013 C.E.C.
- All ground wires shall be unbroken to the panel ground.
- Inconsistencies which may occur in drawings and/or General Notes shall be brought to the attention of the Designer before proceeding with the work.
- Figures shall have precedence over scaled measurements and details shall have precedence over general drawings.
- Existing conditions at the building site shall be verified and examined by the Contractor and/or subcontractor, and signing of the contract with the Owner shall be presumptive evidence that the Contractor is thoroughly familiar with all local conditions and peculiarities.
- All drawings and General Notes shall be thoroughly examined by each Contractor before he or she enters into the Contract.

Framing and Sheathing:

- All lumber shall bear a grade stamp from a recognized testing agency.
- Sills: Anchor bolts to be of sizes and spacing noted on drawings. At least two bolts per piece and a bolt within 7" dia., no nearer than 12" of the end of the piece. Steel plate washers shall be under nuts bearing against wood. Set all plates level and true.
- Studs: Studs must be full length between bearings. Triple studs to be used at all corners. Studs and cripples must be used at each side of openings, except as otherwise shown on drawings. Cripples shall be the same size and material as studs and be continuous from sill or sole plate to lintel. Provide fire blocking as required at 8 ft. maximum height. Lintels shall be of sizes shown on drawings. Stud partitions or walls containing plumbing, heating, or other pipes shall be so framed as to give proper clearance for piping. Pipes exceeding one third of the plate width shall not be placed in partitions unless completely furred clear of studs. Pipes shall be placed in the center of plates using a neat hole. No notching shall be allowed. All framing connectors shall be Simpson or equal.

Framing Notes:

- Structural framing lumber shall be Douglas Fir/ Larch. See framing plan for header and beam callouts and see General Structural Notes for Lumber Grades.
- Plywood Sheathing: Sheathing shall be exterior Douglas Fir plywood sheets laid over supporting members with long dimensions perpendicular to the direction of the joists or the studs (unless noted otherwise). Stagger joints 4'-0" in adjacent panels. Joints shall fall at centerline of joists or studs and discontinuous edges shall be blocked where noted on the plans. See plans for nailing.
- Provide 2X blocking full depth of floor joists at 8'-0" o.c. and 2X blocking full depth of rafter joist at 10'-0" o.c. See framing plans for additional blocking that might be required. Blocking may be omitted where roof joists are 8" or less in depth.
- Cover wood framing with 15lb. waterproof building paper in shower enclosure.
- All nails to be common wire.
- Cutting, notching, or drilling of beams or joists to be permitted only as shown on detail sheet.
- All exterior wall framing to receive 15lb. waterproof building paper under exterior wall material.
- Wood joists and floor closer than 18" or wood girders and support closer than 12" to the ground shall be pressure treated wood or foundation grade Redwood.
- Foundation plates or sills shall be pressure treated wood.
- Provide 1.0 square foot of foundation ventilation for each 150 square feet under floor area as per C.R.C. (2013)
- Provide double joists under parallel partitions. (Unless noted otherwise).
- Provide double top plate with minimum 48" lap splice.

Finish Notes:

- Floor materials as noted on Finish Schedule.
- All walls to be 1/2" Gypsum board wallboard (Unless noted otherwise).
- All base material as noted on Finish Schedule.
- All non-exposed ceilings to be 1/2" Gypsum wallboard, skip trowled to match the existing walls. Bathrooms to receive semi-gloss enamel paint over drywall.
- All interior doors to be 1 3/8" hollow core (unless noted otherwise). See plan for width.
- All doors to be 6'-8" nominal height (unless noted otherwise).
- Gypsum wallboard subcontractor to indicate on exterior surface of wallboard the location of plumbing and electrical lines and avoid any penetration of these lines with screws, etc.
- Paint all gutters to match fascia and paint all downspouts to match adjacent surfaces.
- Field verify all fixed glass sizes.

Nailing:

Sheathing:	1x6	2-8d at all contacts
	2x6	2-16d at all contacts
Studs/Plates:	2x4 / 2x6 studs to sole plate	4-8d at all contacts
	Plate, lower to top	2-16d and nail
	Plate, upper to lower	16d at 16" o.c. stagger
	Laps, 2'-0" at splices with	10-16d nails
	Plate lap at corners	2-16d nails
	Double Studs	16d at 12" o.c. stagger
Joists/Rafters:	To support	2-10d toes each side
	At laps (12" min.)	4-16d nails
	Multiple joists	16d at 12" stagger
Blocking/Bridging:	Blocking to joist bearing	2-10d at each blocking
	Blocking to joist	2-10d at each end
	Blocking to studs	2-16d at each end

Nailing not noted above shall be 2-8d for 1" material at all contact points and 2-16d for 2" material at all contact points.
Use zinc coated nails where exposed to weather. Use plywood nails for nailing of all structural sheathing.

Roof Sheathing:

Minimum 1/2" plywood exterior grade sheathing with 8 d at 6" and 12" o.c. (Unless noted otherwise by engineer).

Gypsum Wall Board:

Minimum 1/2" thick attached with 5d dri-tite nails (or equivalent) at 7" o.c.

ALL PLANS TO COMPLY WITH 2013 CRC, CPC, CMC, CEC, CRC and CALIFORNIA ENERGY CODE.

ROOM FINISH SCHEDULE						
ROOM	FLOOR	BASE	WALL	CEILING	HEIGHT	
	CARPET					
	SHEET VINYL					
	HARDWOOD					
		OAK				
		T.S. RUBBER				
		WOOD				
			1/2" GYP. BD.			
				1/2" GYP. BD.		
				5/8" GYP. BD.		
				FLAT		
				SEMI-GL		

INDEX			
1	General Notes/Site Plan	6	Architectural Details
2	Existing Floor Plan Floor Plan	7	Architectural Details
3	East/West Elevation / Roof Plan	8	
4	North/South Elevation	BMP	BEST MANAGEMENT PRACTICES
5	Foundation Plan/ Ceiling/Roof Framing Plan	10	

Symbols:

- | | |
|-------------------------------------|---------------------------------|
| ○ Detail Reference | ⊕ Surface mounted ceiling light |
| ⊕ Section Reference | ⊕ Wall bracket light |
| ⊕ Ground fault interrupter | ⊕ Recessed ceiling light |
| ⊕ 110-115v Convenience outlet | ⊕ Wall or base register |
| ⊕ 110-115v 1/2 Hot, Switched outlet | ⊕ Smoke detector |
| ⊕ 110-115v Weatherproof outlet | ⊕ Exhaust fan/heat lamp |
| ⊕ 220v Convenience outlet | ⊕ Telephone |
| ⊕ Flood lamp | ⊕ Cable TV |
| ⊕ Junction box | ⊕ Fluorescent tube fixture |
| ⊕ Hanging ceiling light w/ blocking | ⊕ Double pole switch |
| ⊕ Recessed can light | ⊕ Three way switch |
| ⊕ Interior elevation reference | ⊕ Hose bibb |

**CONSTRUCTION TYPE: VB
OCCUPANCY GROUP: R 3/U**

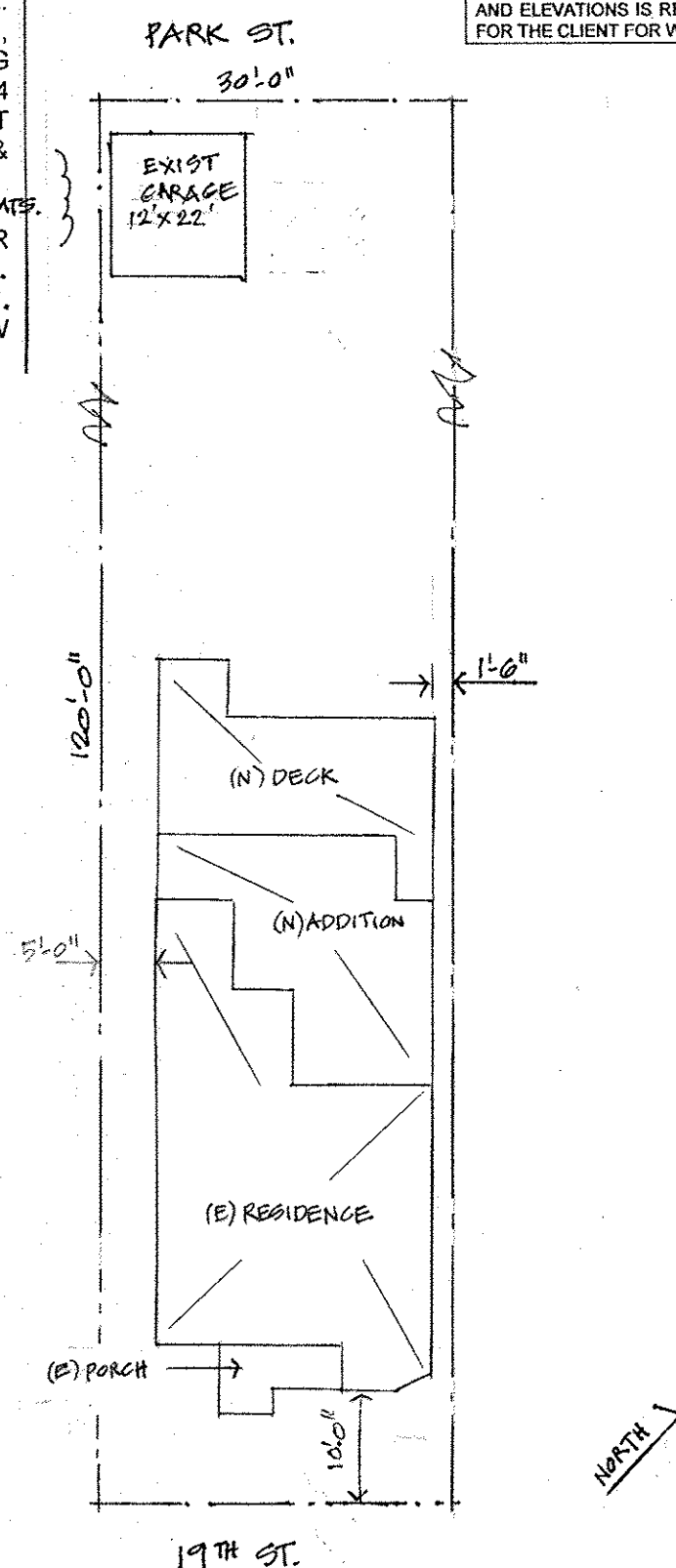
FLOOR AREA RATIO

SITE AREA	3600 sf
AREA OF EXIST. HOUSE	700 sf
AREA OF ADDITION	320 sf
NEW TOTAL AREA	1020 sf
1020/3600 = F.A.R. =	28% : O.K.

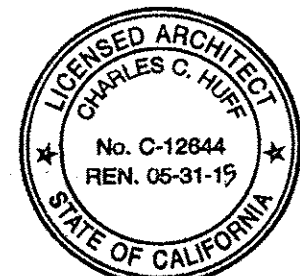
THE EXISTING RESIDENCE DOES NOT HAVE FIRE SPRINKLERS

SCOPE OF PROJECT

REMODEL EXISTING RESIDENCE. PROVIDE NEW FOUNDATION, GIRDERS AND PIERS AT EXISTING RESIDENCE. PROVIDE NEW 2X4 CONVENTIONAL FRAMING AT EXISTING SINGLE WALL EXTERIOR & INTERIOR WALLS. (SINGLE WALL) NEW WALLS TO MATCH AS REINFORCEMENT. ADD NEW BEDROOM AND MASTER BEDROOM & BATH. ADD NEW DECK. REMODEL EXISTING KITCHEN. REPLACE ALL WINDOWS WITH NEW CLAD WOOD WINDOWS.



ALL PLANS, DOCUMENTS, COMPUTER FILES, SPECIFICATIONS AND RELATED MATERIALS PREPARED BY CHARLES HUFF ARCHITECT, AS INSTRUCTIONS OF CONSTRUCTION DRAWINGS, SHALL REMAIN THE SOLE PROPERTY OF THE ARCHITECT. CHARLES HUFF ARCHITECT SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RIGHTS, INCLUDING THE COPYRIGHT. THE USE OF THESE PLANS, SITE PLANS AND ELEVATIONS IS RESTRICTED TO THE ORIGINAL SITE FOR THE CLIENT FOR WHICH THEY WERE PREPARED.



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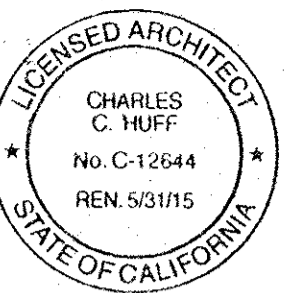
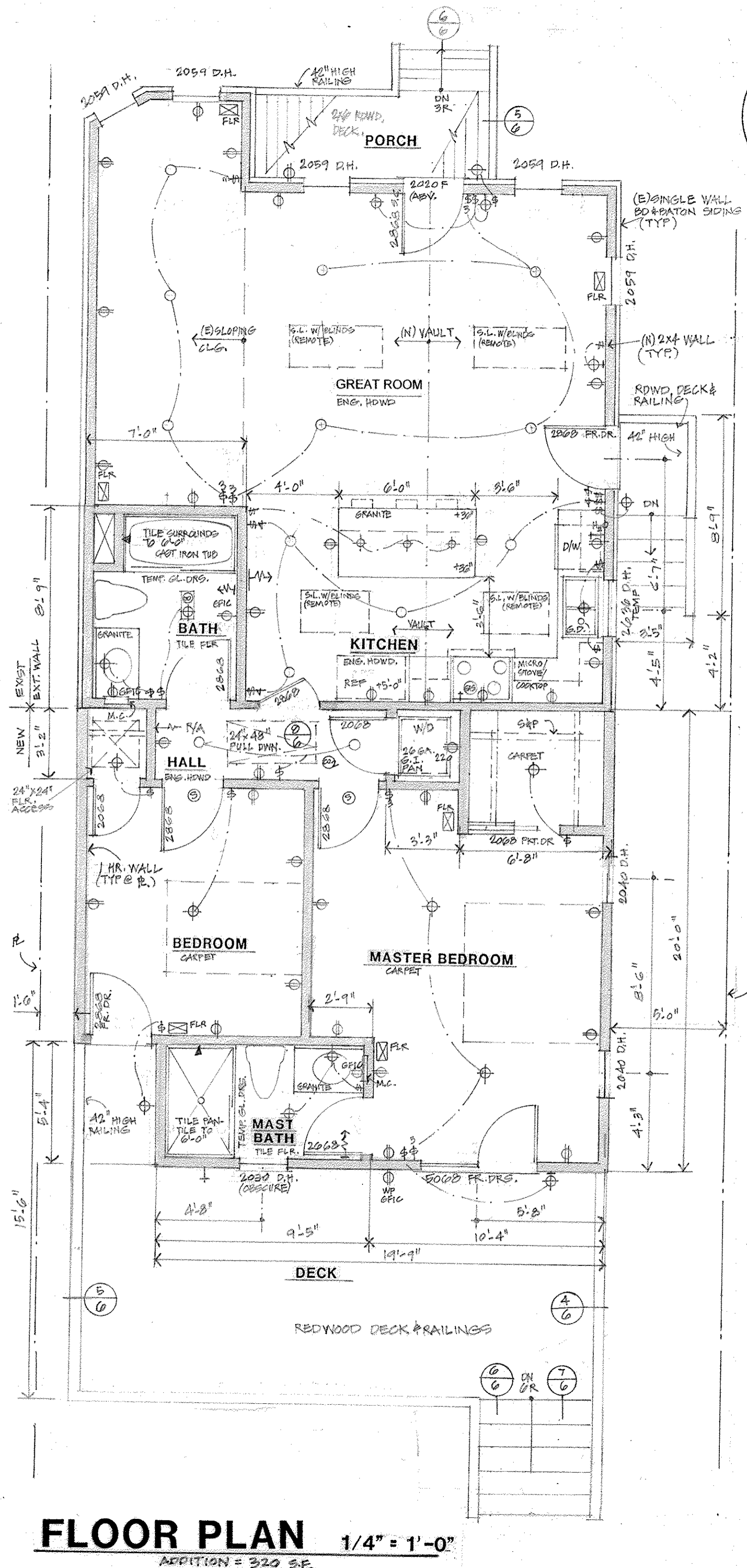
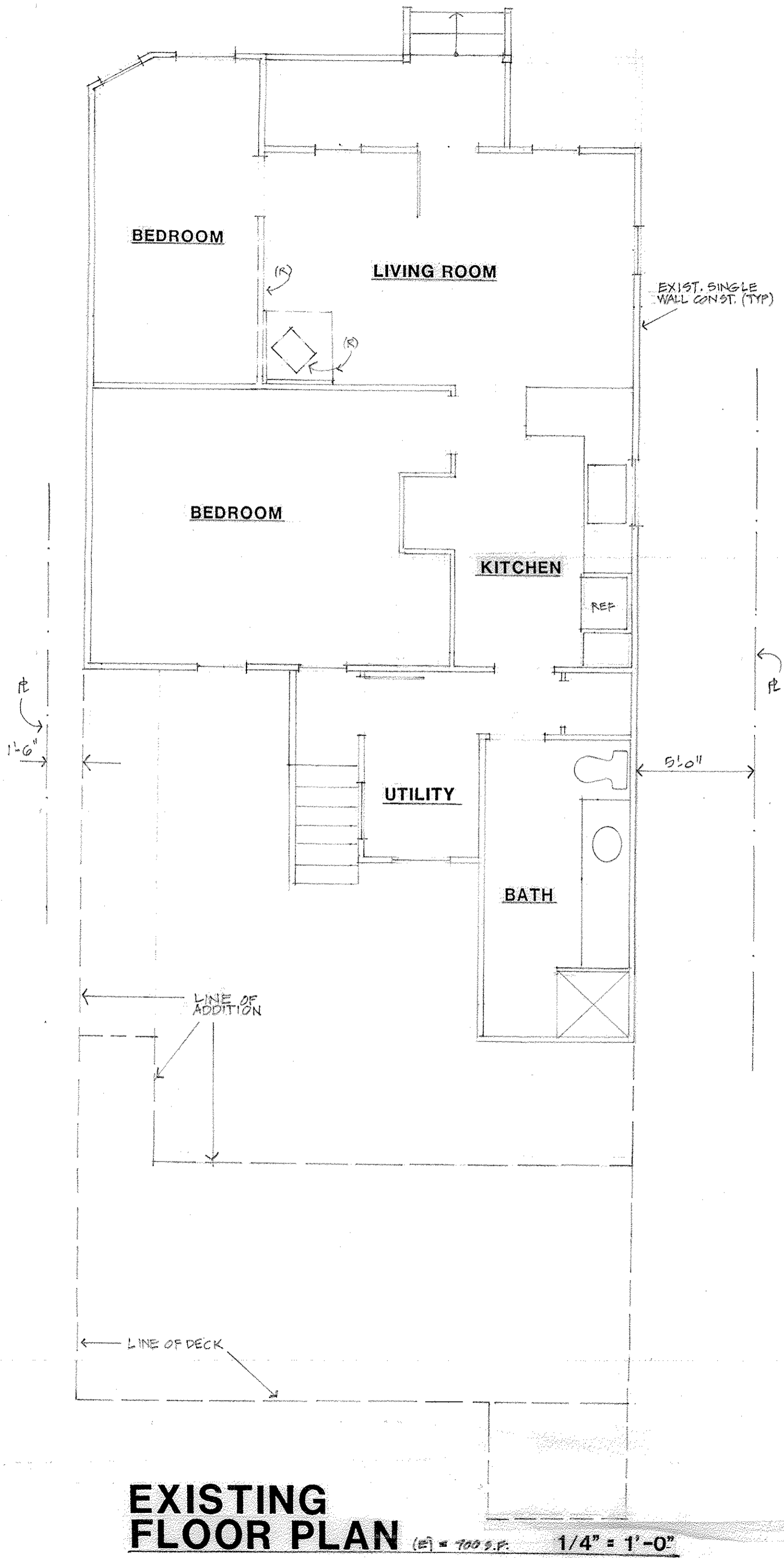
DATE: 1/16/14
JOB NO.:
DRAWN BY: C.H.
REVISIONS: 1/20/14

REMODEL AND ADDITION FOR:
222 19th St. LLC
222 19th St.
Pacific Grove

Sheet No.
1

SITE PLAN

1/16" = 1'-0"



AREA ANALYSIS
 (E) HOME - 700 S.F.
 ADDITION - 320 S.F.
 TOTAL 1020 S.F.
 100 x 10 = 70
 170 x 10 = 77
 247 x 10 = 84.7
 931 x 10 = 93
 931 + 93 = 1024 S.F. ALLOWABLE

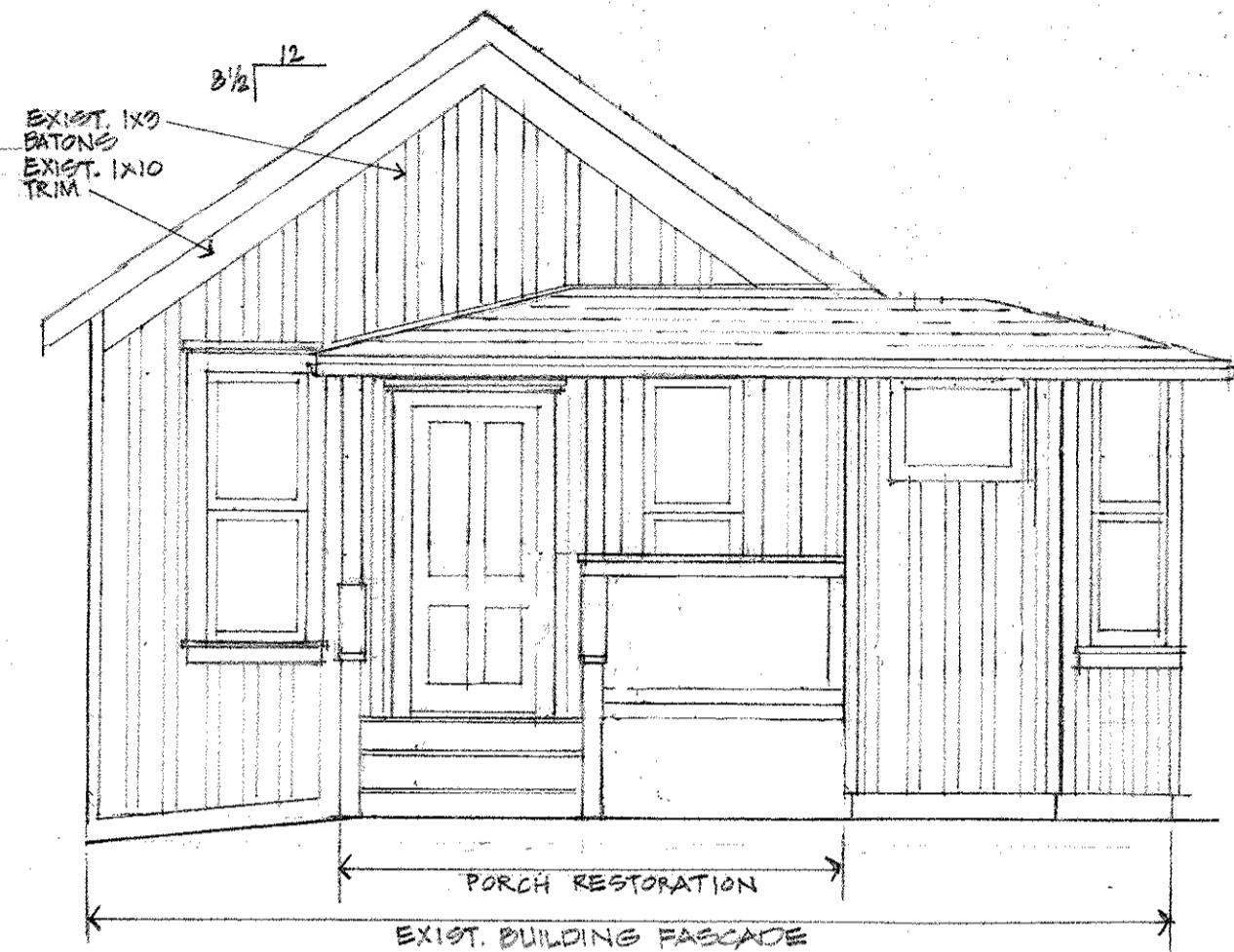
NOTE: ALL WINDOWING TO BE NEW WOOD INTERIOR & EXTERIOR.

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Date	Job No.	Drawn	Revisions
1/16/14			

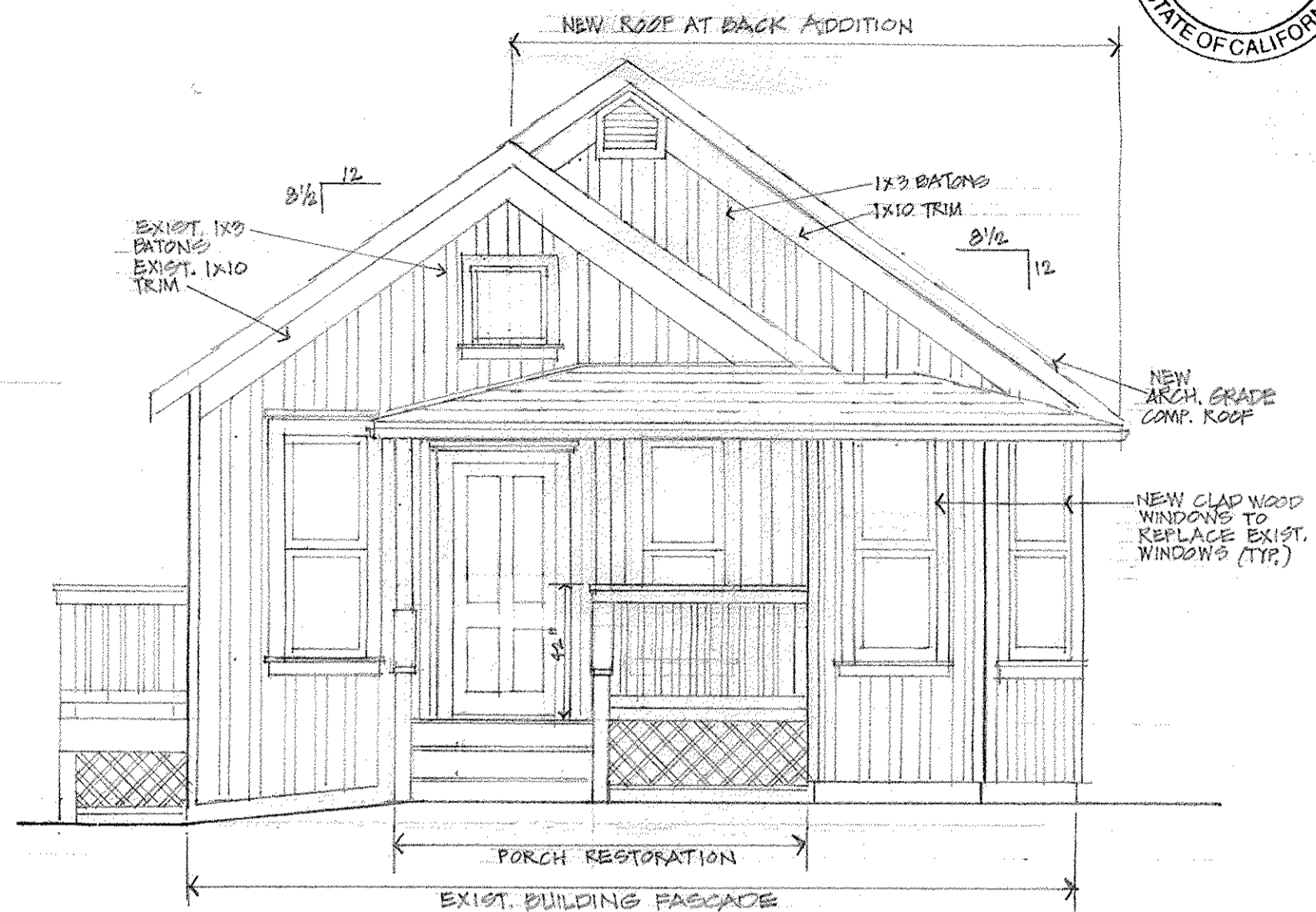
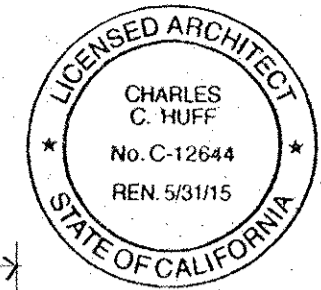
REMODEL AND ADDITION FOR:
222 19th St. LLC
 222 19th St.
 Pacific Grove

Sheet No.
2



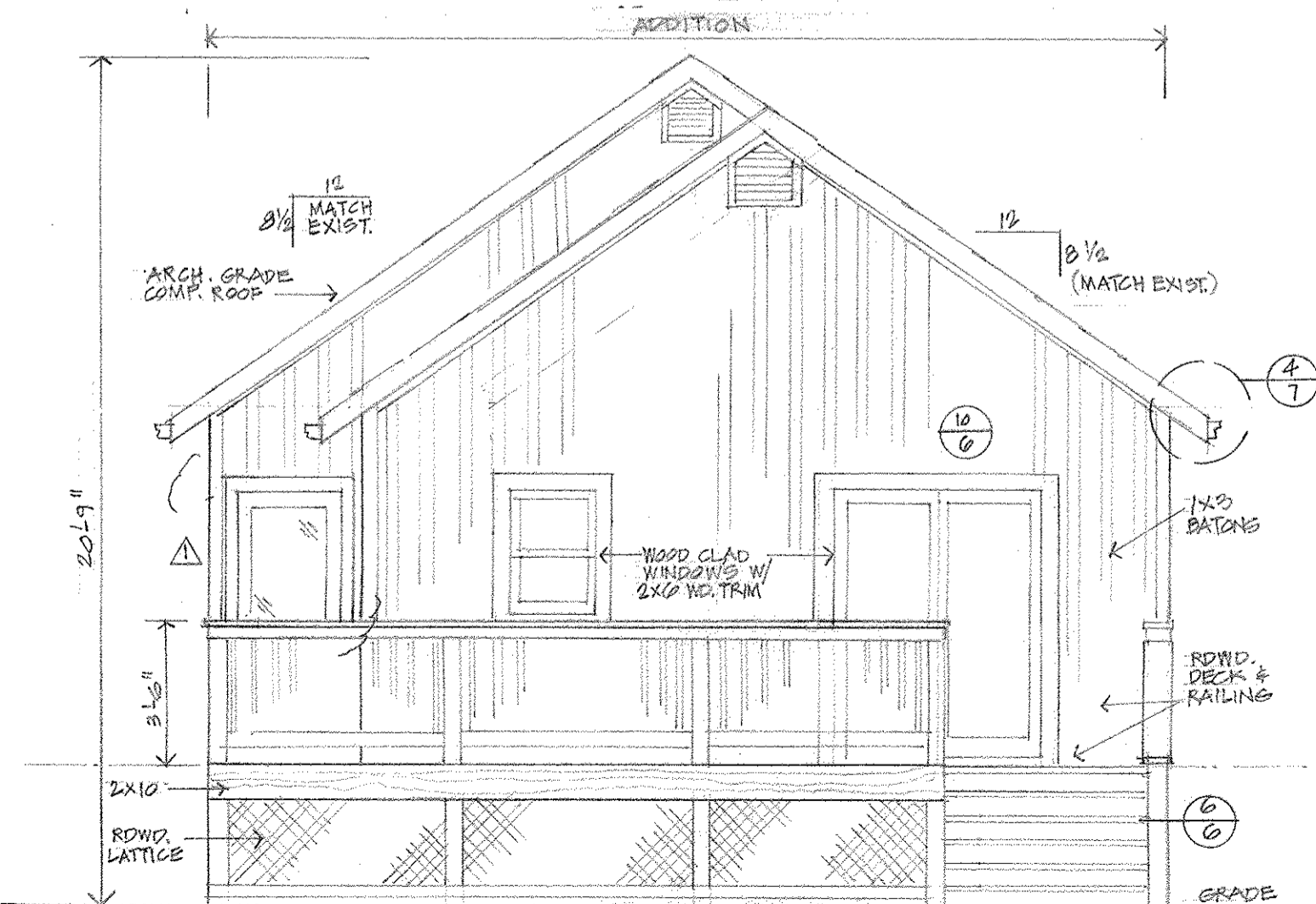
EXISTING EAST ELEVATION

1/4" = 1'-0"



EAST ELEVATION

1/4" = 1'-0"



WEST ELEVATION

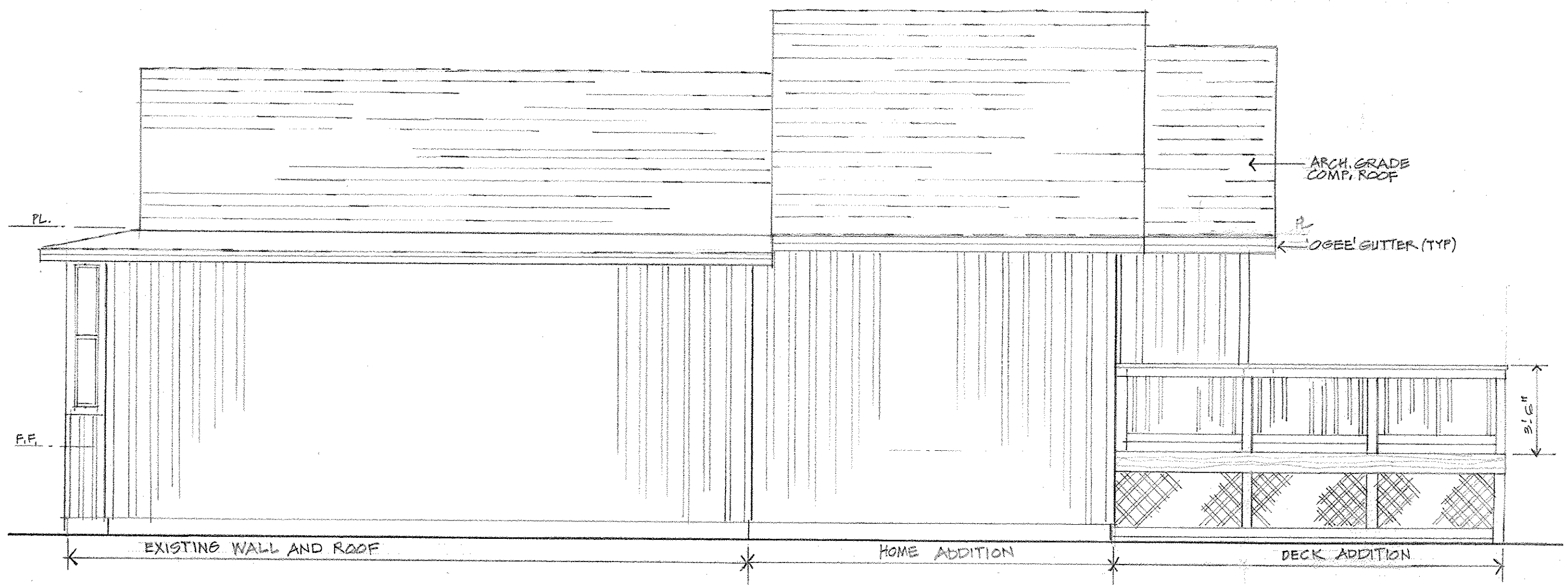
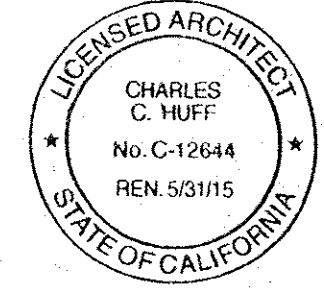
1/4" = 1'-0"

7.b
CHARLES HUFF, A.I.A.
 ARCHITECT
 122 9th St.
 4441 Railroad Ave., Suite B
 Pacific Grove
 Pleasanton
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 (925) 462-9226

Date	1/6/14
Job No.	
Drawn	
Revisions	1/31/14

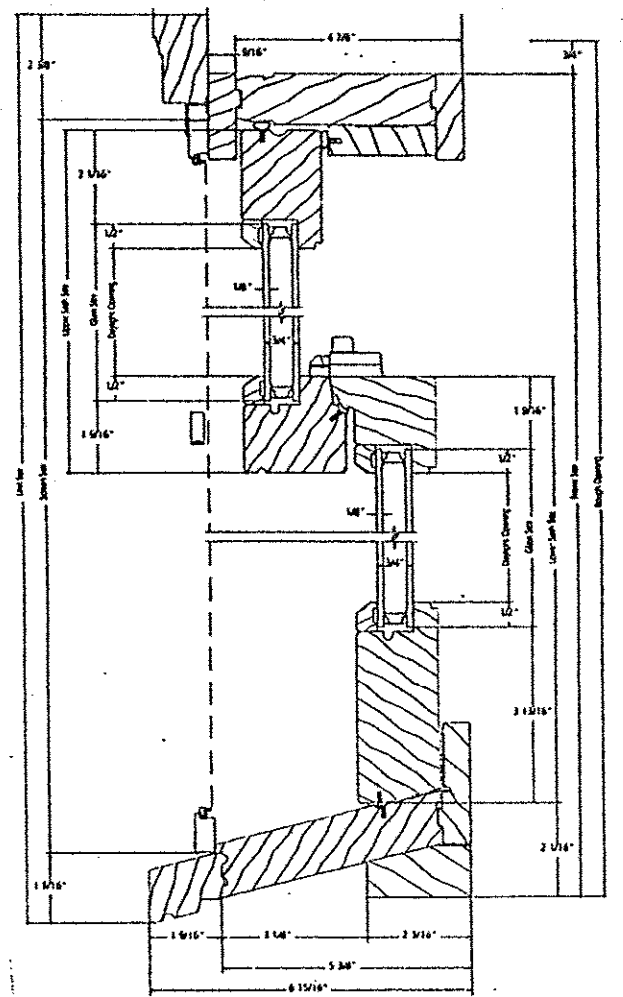
REMODEL AND ADDITION FOR:
222 19th St. LLC
 222 19th St.
 Pacific Grove

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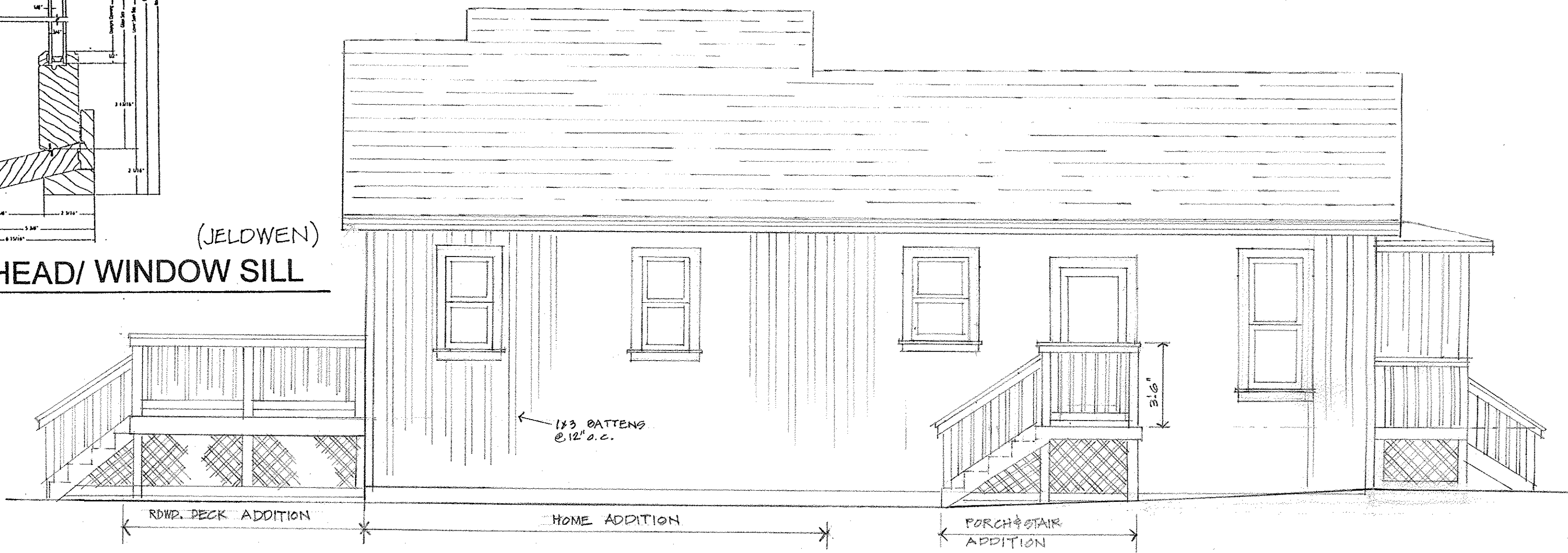


NORTH ELEVATION

1/4" = 1'-0"



TYP. WINDOW HEAD/ WINDOW SILL



SOUTH ELEVATION

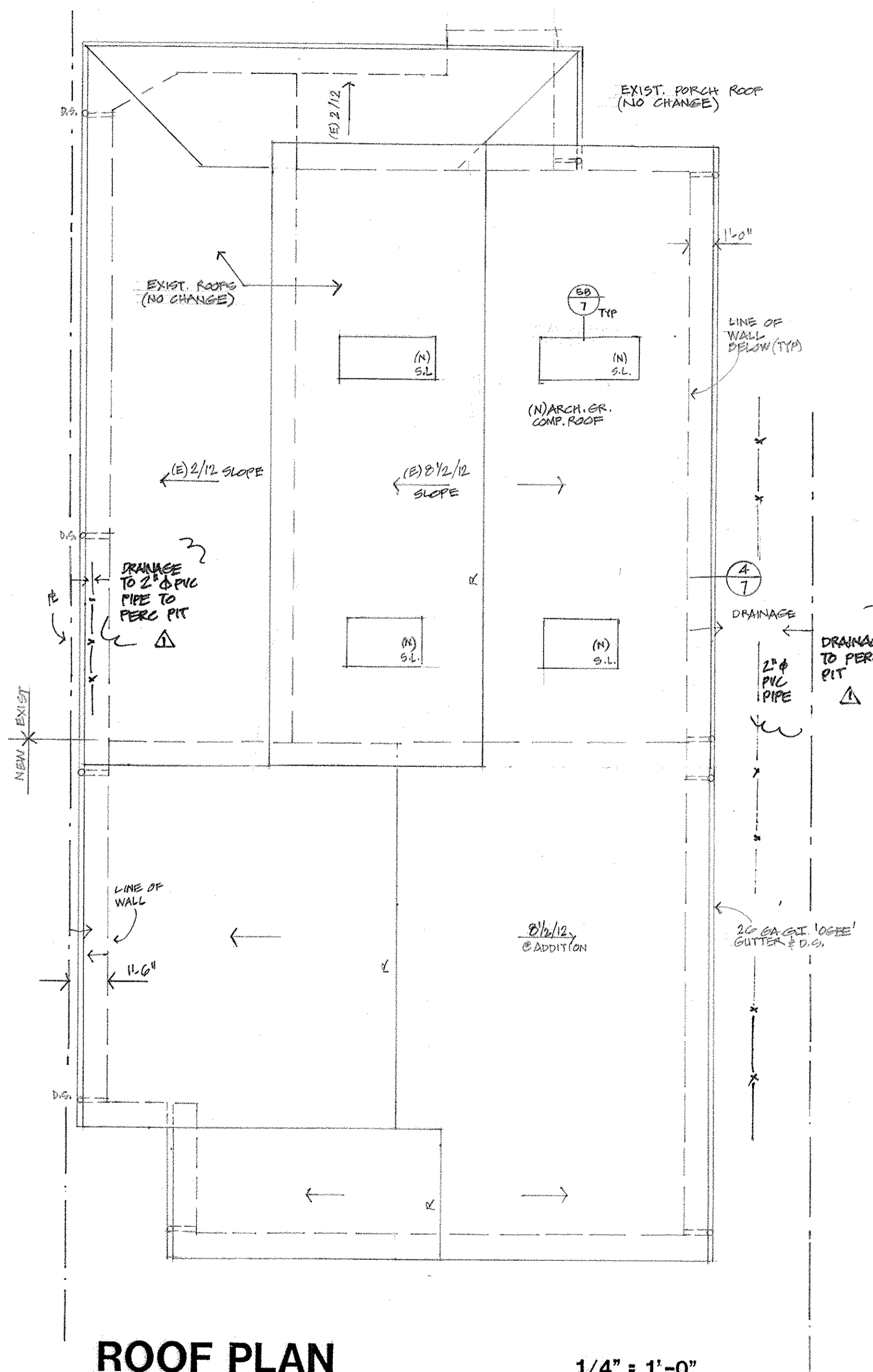
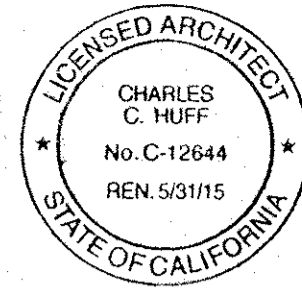
1/4" = 1'-0"

7.b
CHARLES HUFF, A.I.A.
 ARCHITECT
 (831) 655-1492
 (925) 462-9226
 Pacific Grove
 Pleasanton
 Suite B
 4441 Railroad Ave.,
 122 9th St.

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ROOF PLAN

1/4" = 1'-0"

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 Pleasanton

122 9th St.
 4441 Railroad Ave., Suite B

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 ARCHITECT

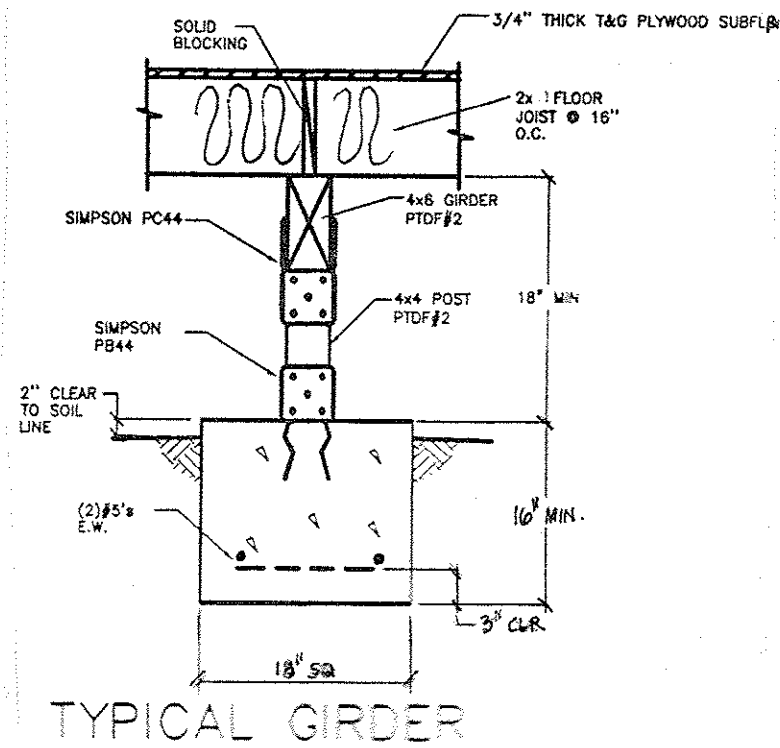
Date	Job No.	Drawn	Revisions

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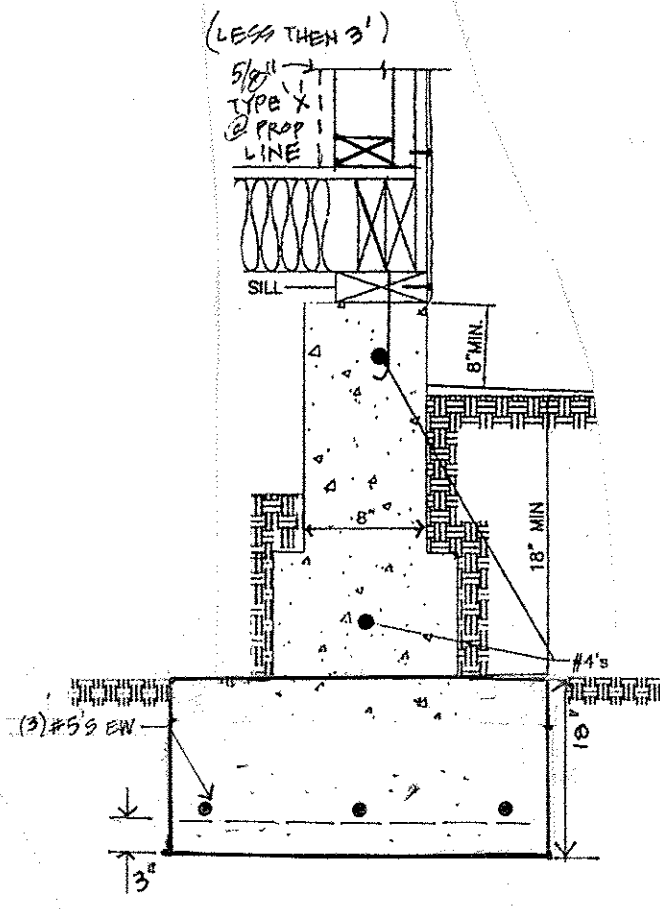
MATT TANZI

222 19th St.
 Pacific Grove

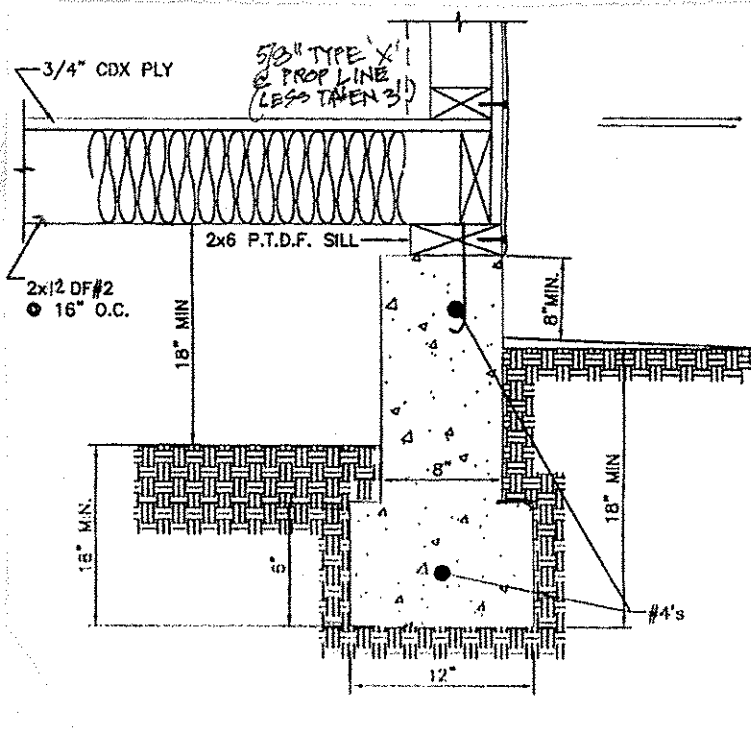
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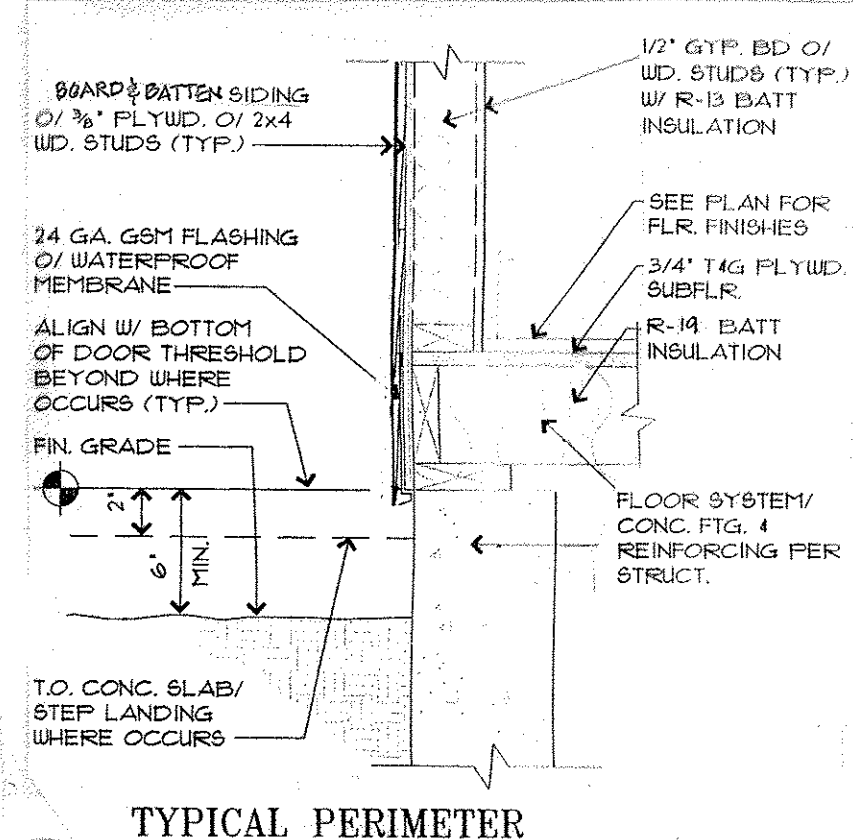
3B



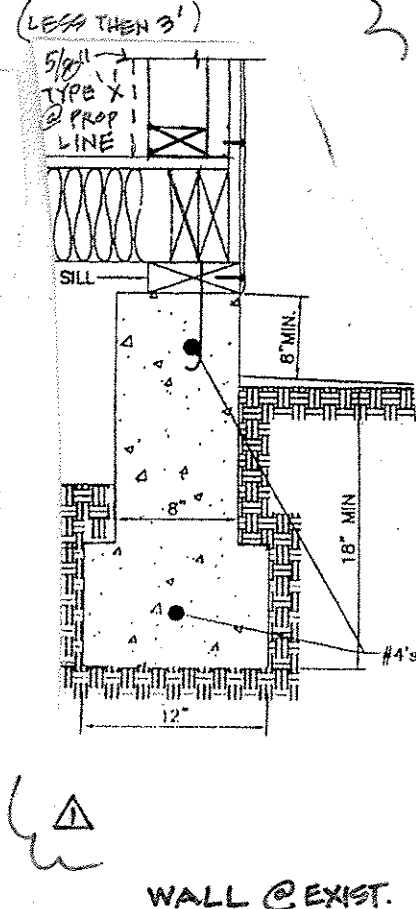
3A ISOLATION FOOTING DETAIL



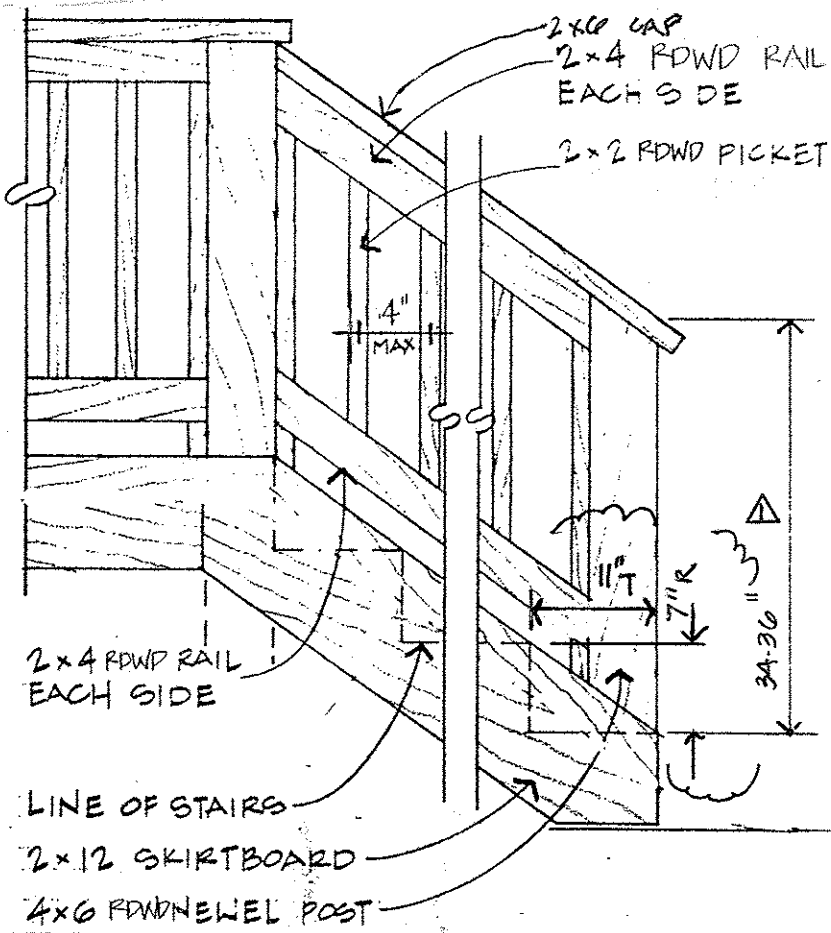
2 EXTERIOR FOOTING DETAIL



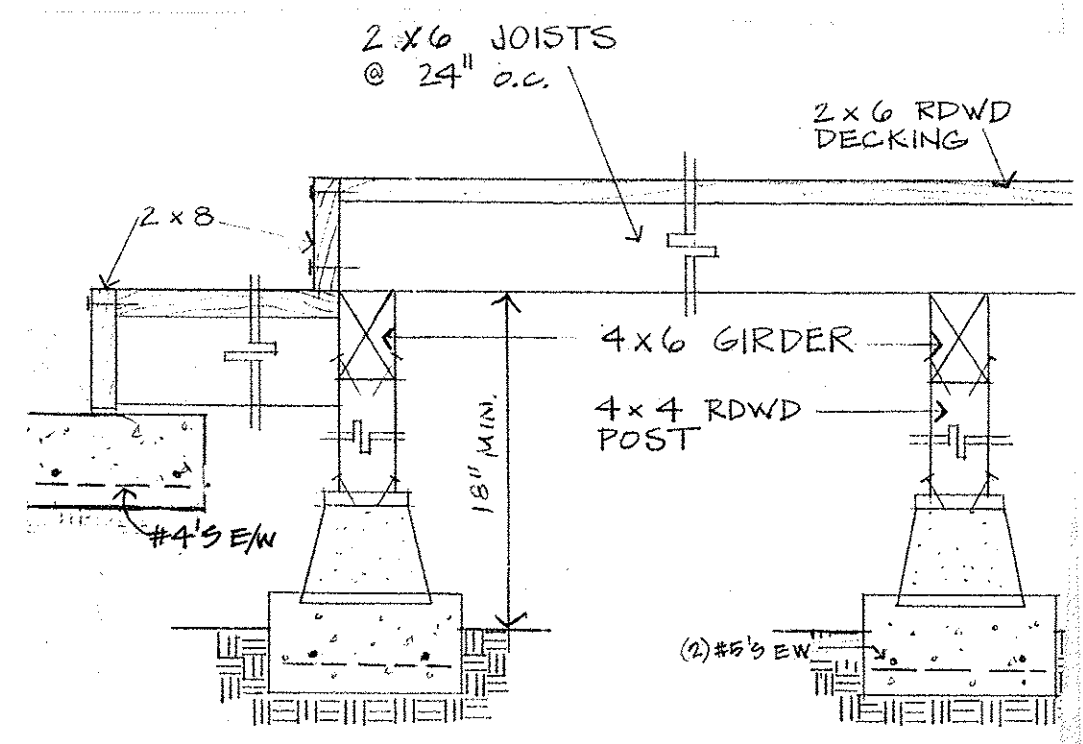
1A TYPICAL PERIMETER WALL SILL DETAIL



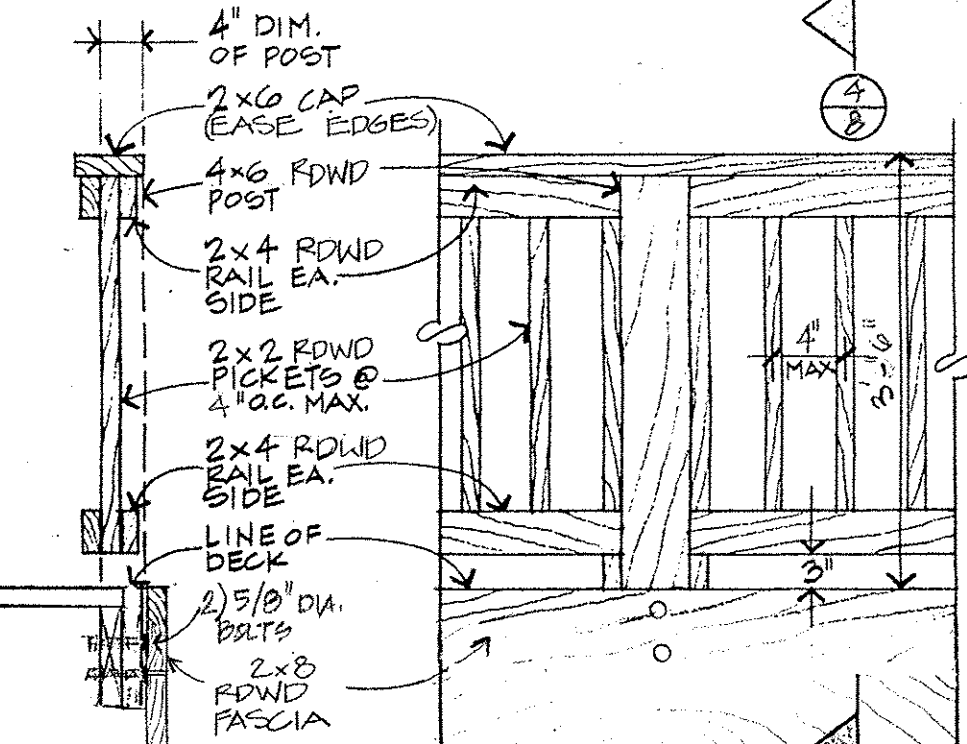
1 WALL @ EXIST. SINGLE WALL



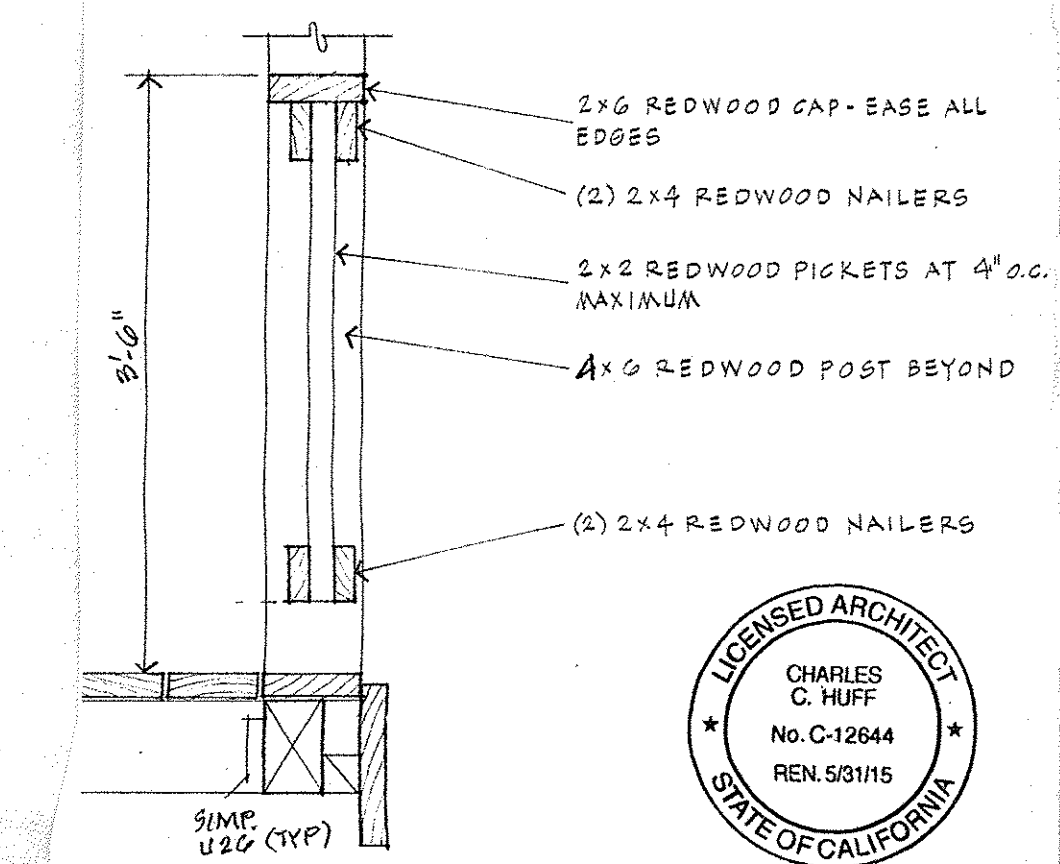
7 STAIR RAIL



6 PIER 1" = 1'-0"

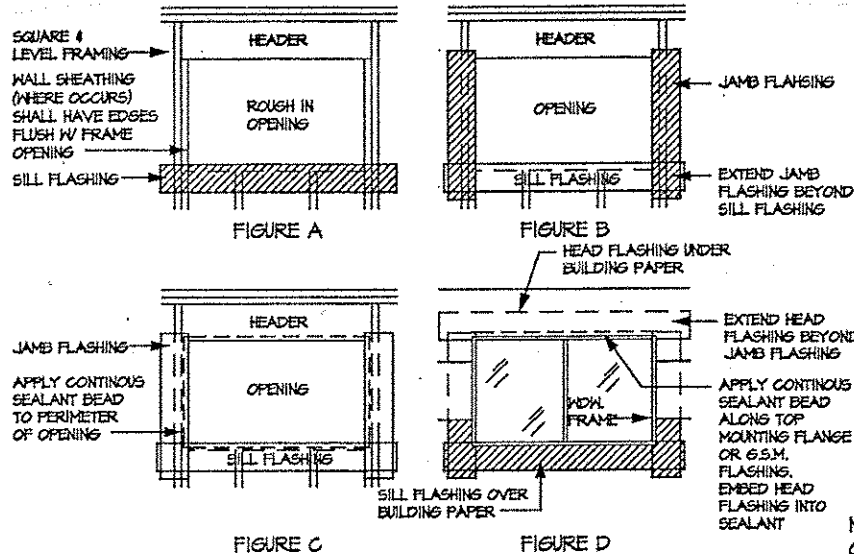
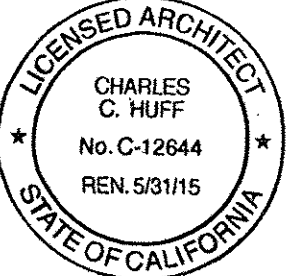


5 DECK RAILING 3/4" = 1'-0"



4 DECK GUARDRAIL 1" = 1'-0"

NOTE: ALL EXPOSED LUMBER TO BE REDWOOD



FLASHING OF EXTERIOR WALL OPENINGS

INDIVIDUALLY FLASH ALL EXTERIOR OPENINGS FOR FIXTURES SUCH AS WINDOWS, DOORS, AND VENTS TO MAKE THEM WATER TIGHT. PENETRATION FLASHING MATERIAL SHALL BE BARRIER COATED REINFORCED AND SHALL PROVIDE 4 HOUR MIN. PROTECTION FROM WATER PENETRATION WHEN TESTED IN ACCORDANCE WITH ASTM D-719. SEALANT SHALL COMPLY TO FF TT-9-1657. A WATERPROOF SHEET MEMBRANE SHALL BE USED OVER SOLID BACKING. USE 'FORTIFLASH 40' OR 'ICE & WATER SHIELD'.

FOR NAIL-ON-FLANGE TYPE FIXTURES A STRIP OF APPROVED FLASHING MATERIAL SHOULD BE AT LEAST 9" WIDE. FLASHING SHALL BE APPLIED IN A WEATHERBOARD FASHION AROUND THE FULL PERIMETER OF THE OPENING.

APPLY THE FIRST STRIP HORIZONTALLY IMMEDIATELY BELOW THE SILL, CUT IT SUFFICIENTLY LONG TO EXTEND PAST EACH SIDE OF THE WINDOW SO THAT IT PROJECTS BEYOND THE VERTICAL FLASHING TO BE APPLIED LATER. FASTEN THE TOP EDGE OF THE SILL FLASHING TO THE FRAMING, BUT DO NOT FASTEN THE LOWER EDGE, SO THE WEATHER-RESISTIVE BARRIER APPLIED LATER MAY BE SLIPPED UP AND UNDERNEATH THE FLASHING IN WEATHERBOARD FASHION. (SEE FIGURE A)

NEXT, FASTEN STRIPS OF FLASHING AT EACH VERTICAL EDGE (JAMB) OF THE OPENING. RUN THIS FLASHING BEYOND THE SILL FLASHING AND ABOVE WHERE THE HEAD FLASHING WILL INTERSECT. (SEE FIGURE B)

APPLY A CONTINUOUS SEAL TO THE BACKSIDE (INTERIOR) OF THE MOUNTING FLANGE NEAR THE OUTER EDGE OR A CONTINUOUS SEAL TO THE PERIMETER OF THE OPENING AT A POINT TO ASSURE CONTACT WITH THE BACKSIDE (INTERIOR) OF THE MOUNTING FLANGE. (SEE FIGURE C)

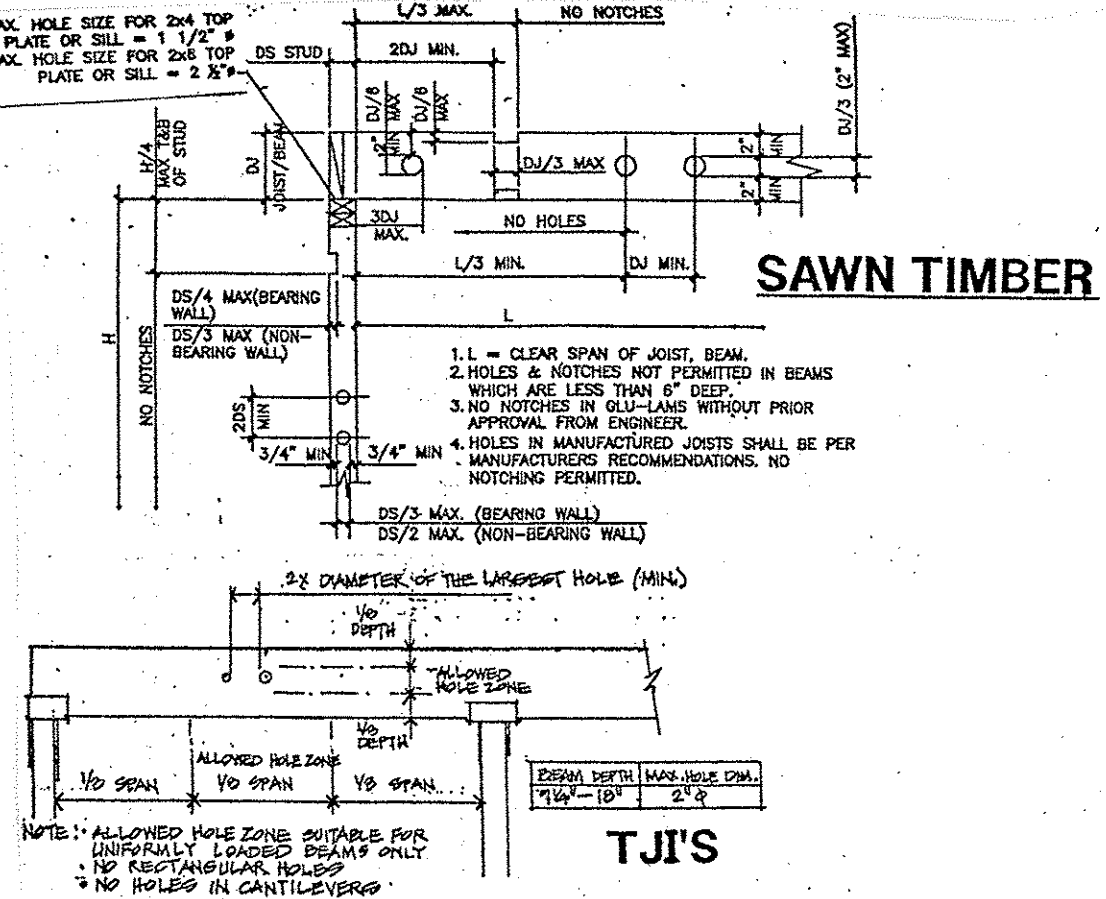
FOR FIXTURES WITH OUT A NAIL-ON-FLANGE THE FLASHING SHALL BE 12" MIN. WIDE AND EXTEND INTO THE ROUGH FRAME AT THE SILL AND JAMB IN A WEATHERBOARD FASHION. ADD 2nd PIECE (6" WIDE) @ SILL AND THEN JAMBS THE FIXTURE SHALL THEN BE INSTALLED.

NEXT, APPLY A CONTINUOUS SEAL AT THE TOP (HEAD) G.S.M. HEAD FLASHING AND EMBED THE BOTTOM OF THE HEAD FLASHING OVER THE SEALANT AND THE G.S.M. FLASHING. CUT THIS FLASHING SUFFICIENTLY LONG SO THAT IT WILL EXTEND BEYOND EACH JAMB FLASHING; FASTEN IN PLACE. (SEE FIGURE D)

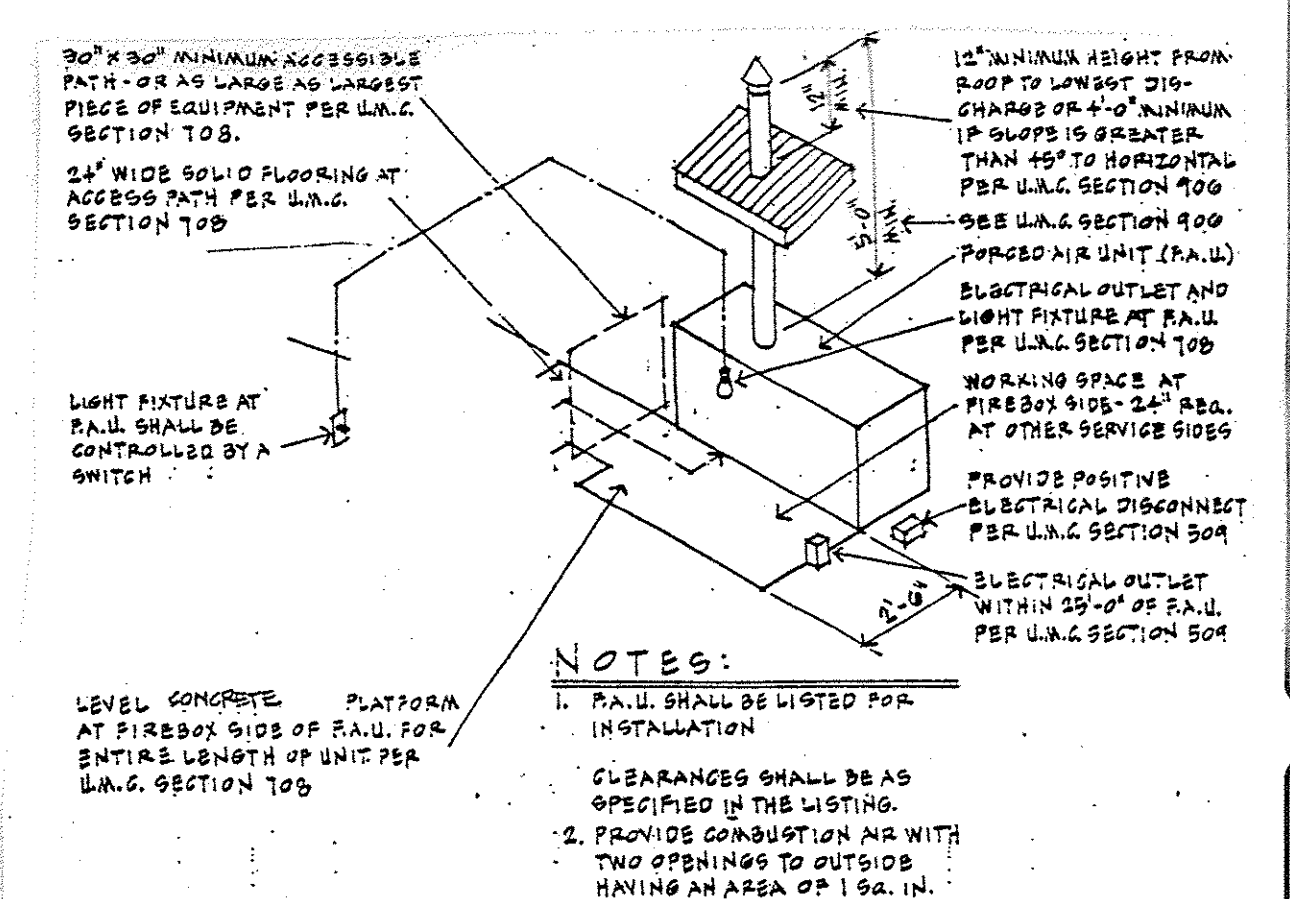
APPLY REMAINING WEATHER-RESISTIVE BARRIER IN A WEATHERBOARD FASHION WITH THE SILL FLASHING LAPPING OVER THE TOP, AND THE HEAD AND JAMB FLASHING BELOW.

BASED UPON INDUSTRY STANDARDS APPROVED BY THE CALIFORNIA ASSOCIATION OF WINDOW MANUFACTURERS, (CAWM).

10 WINDOW/DOOR FLASHING AT EXTERIOR WALL OPENINGS



9 ALLOWABLE HOLES AND NOTCHES



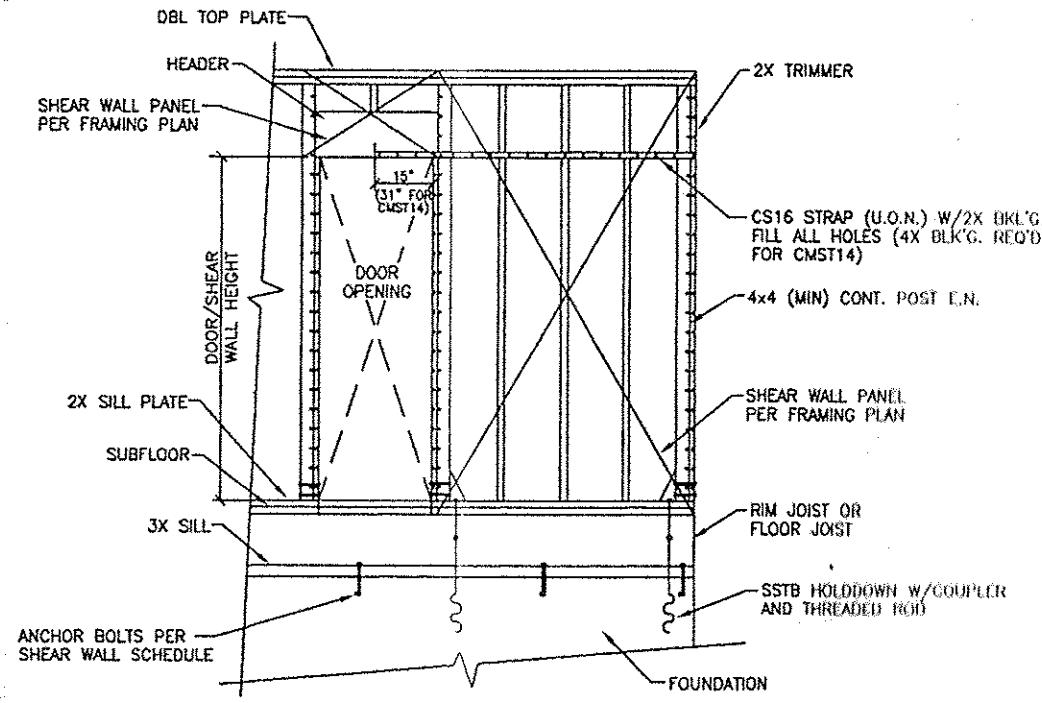
8 FURNACE

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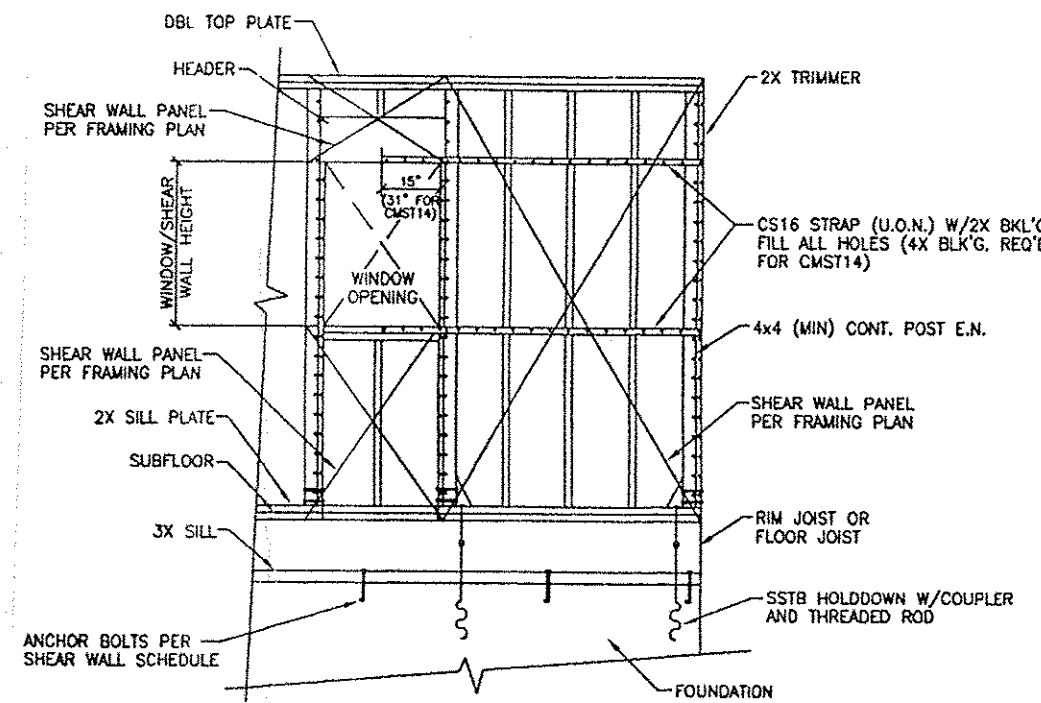
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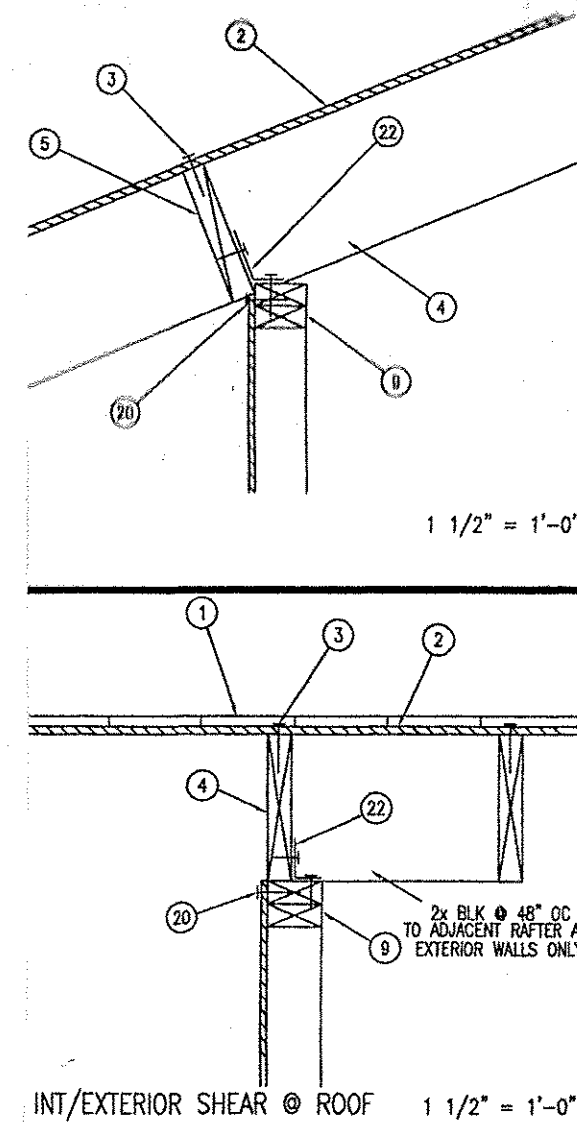
NOTES:
 1. P.A.U. SHALL BE LISTED FOR INSTALLATION
 CLEARANCES SHALL BE AS SPECIFIED IN THE LISTING.
 2. PROVIDE COMBUSTION AIR WITH TWO OPENINGS TO OUTSIDE HAVING AN AREA OF 1 sq. in. PER 5,000 BTU/H INPUT RATING.



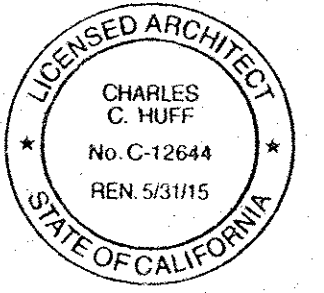
1 SHEAR WALL



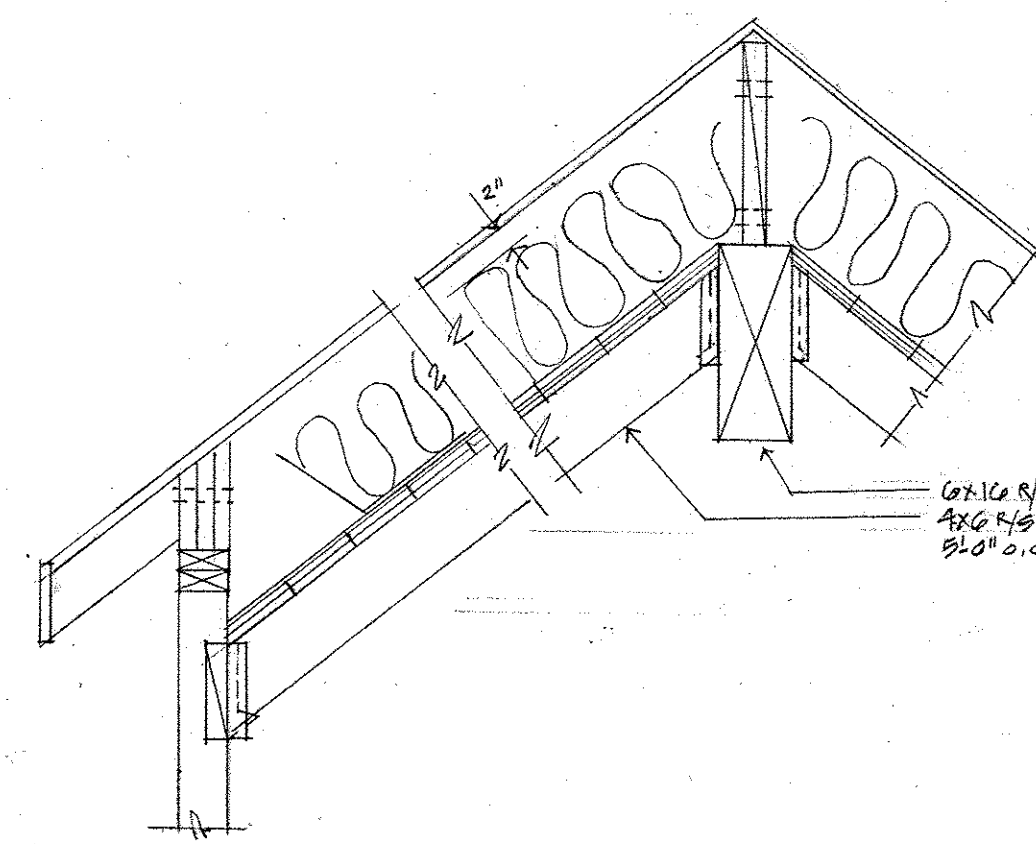
2 SHEAR WALL



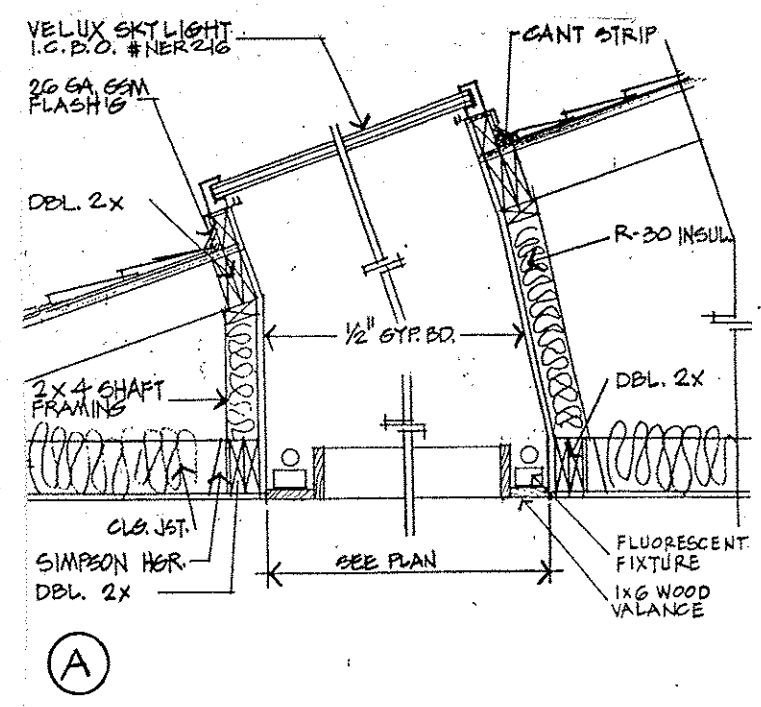
- DETAIL NOTATIONS**
- 1 ROOF MATERIAL
 - 2 ROOF SHEATHING AS SPECIFIED BY GENERAL CONSTRUCTION NOTES
 - 3 ROOF EDGE NAIL PER SCHEDULE
 - 4 2x RIFTER OR BLOCKING OR MANUFACTURED TRUSSES
 - 5 2x BLOCKING
 - 6 2x CEILING JOIST OR BLOCKING
 - 7 2x FLOOR JOISTS OR 2x (OR LVL) BLOCKING FOR 'T' JOIST
 - 8 EXISTING 2x CEILING JOISTS OR BLOCKING
 - 9 DOUBLE 2x TOP PLATE
 - 10 2x SILL PLATE
 - 11 2x PRESSURE TREATED SILL PLATE
 - 12 2x DOOR OR WINDOW TRIMMER
 - 13 2x TRIMMER
 - 14 DOUBLE 2x PLATE OR WINDOW LEDGE
 - 15 4x BLOCKING
 - 16 4x4 POST (MIN)
 - 17 SEE FRAMING PLAN FOR BEAM SIZE
 - 18 PLYWOOD FLOOR SHEATHING - SEE GENERAL CONSTRUCTION NOTES FOR SPECIFICATIONS
 - 19 PLYWOOD FLOORING EDGE NAILING (STAGGER WITH ITEM #21 WHEN APPLICABLE)
 - 20 EDGE NAILING PER SHEARWALL SCHEDULE
 - 21 SILL PLATE NAILING PER SHEARWALL SCHEDULE
 - 22 SIMPSON A35 CLIP PER SHEARWALL SCHEDULE OR AT 48\"/>



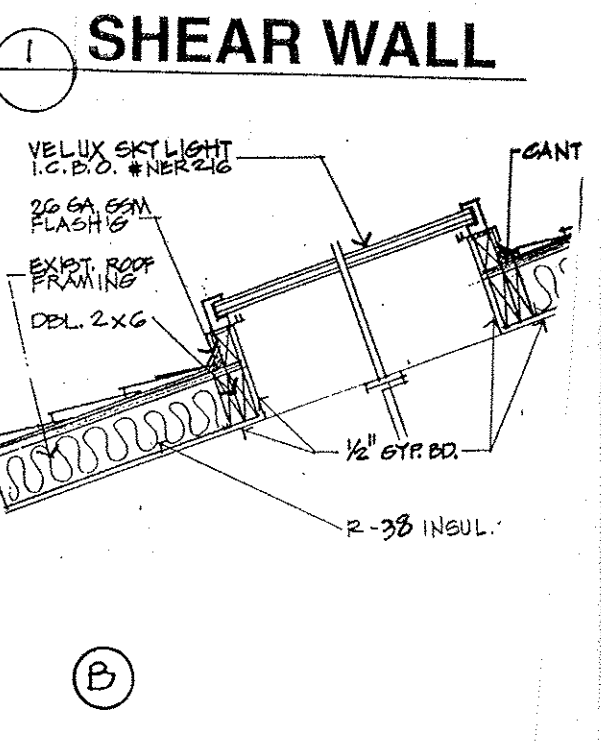
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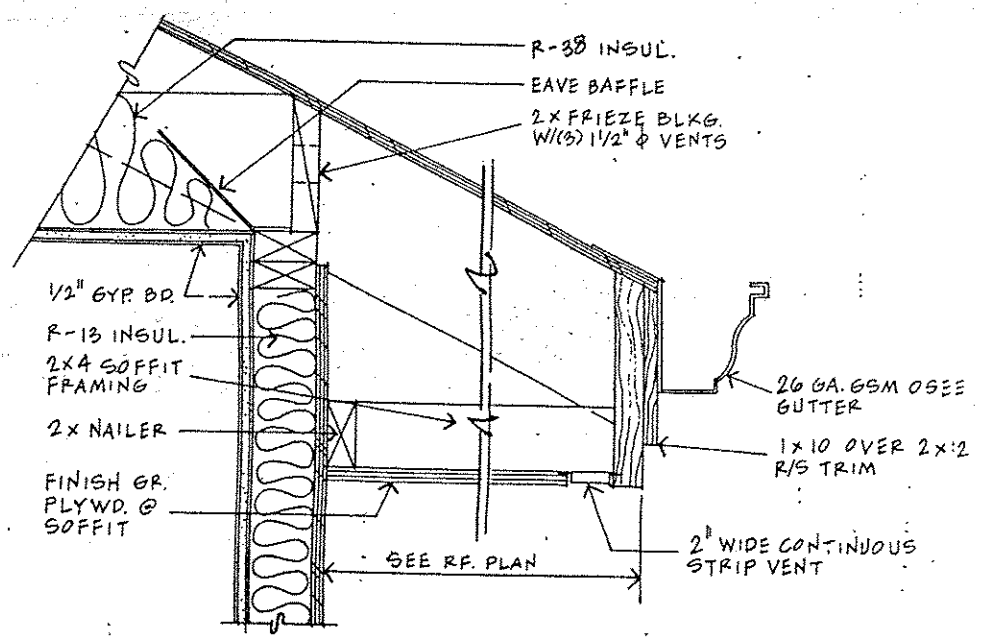
6 RIDGE BEAM @ GATHERING ROOM



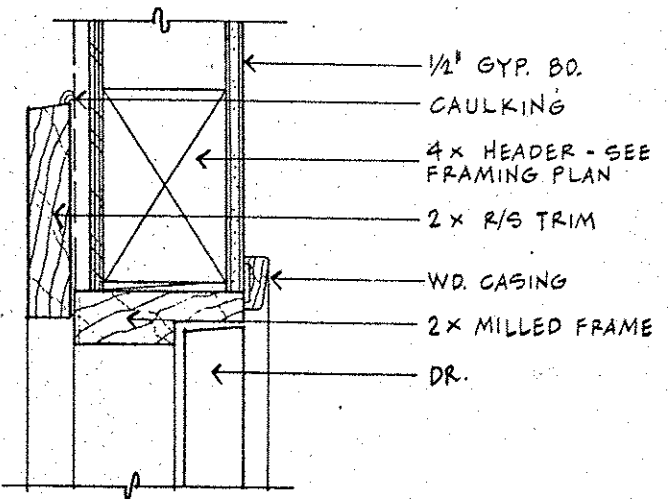
5 SKYLIGHT



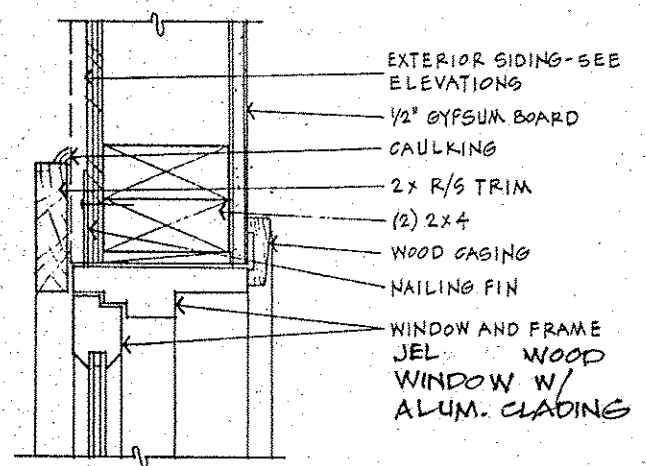
1 SHEAR WALL



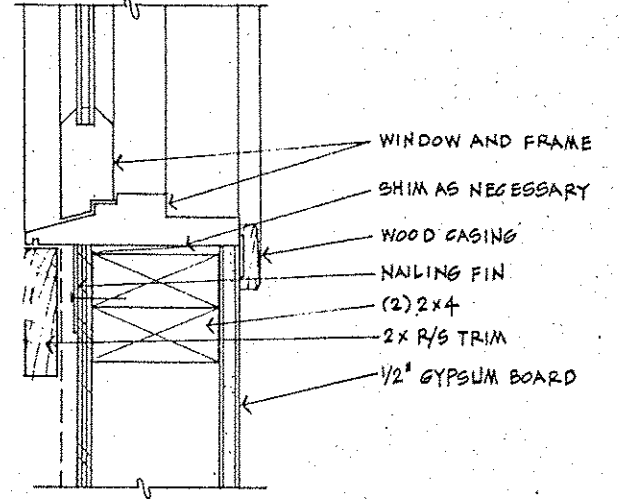
4 TYPICAL EAVE DETAIL



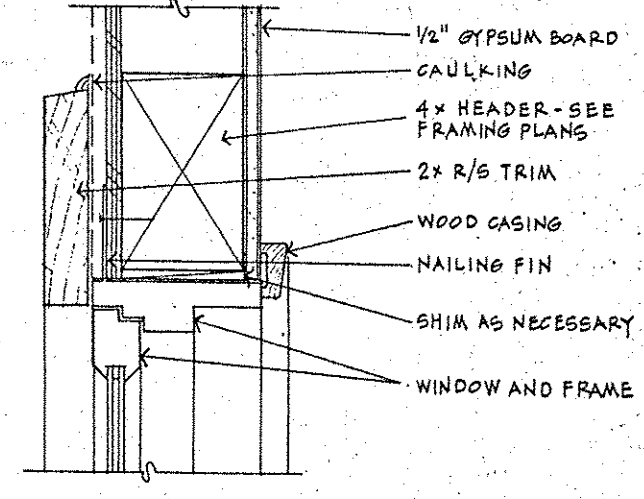
10 HEAD WITH WOOD TRIM



9 WINDOW JAMB WITH WOOD TRIM



8 WINDOW SILL WITH WOOD TRIM



7 WINDOW HEAD WITH WOOD TRIM

REMODEL AND ADDITION FOR:
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 222 19th St.
 Pacific Grove

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Interior Wood Species

Increase a home's sense of visual harmony by choosing optional interior wood species to coordinate with trim, cabinetry and furnishings. In addition to pine AuraLast® Wood, we offer alder, which features a fairly straight grain that blends well with cherry, maple or birch grain and knotty patterns.



Pine AuraLast Wood



Alder



Mixed Grain Douglas Fir



The mark of responsible forestry



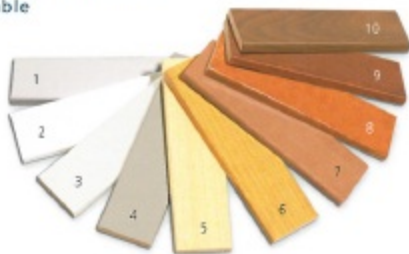
SUSTAINABLE FORESTRY INITIATIVE

FSC® certified or SFI certified wood available. See your JELD-WEN dealer for details.

Standard Prefinished Interiors

Custom options available

1. Primed
2. Brilliant White
3. Ivory
4. Desert Sand
5. Clear Lacquer
6. Wheat
7. Cider
8. Fruitwood
9. Cordovan
10. Walnut



Colors shown may not match final finish.



Interior Trim

Interior radius casings are available in both pine and oak for radius (rounded) windows and patio doors. These casings come in several patterns. Corner blocks in pine are also available.



Pine Corner Block



456

WM-445

356

Ranch

366

PF-1027

444



Exterior Wood Species



Pine AuraLast Wood



Primed

Trim Options

Primed Wood



2" Flat



3-1/2" Flat



4-1/2" and 5-1/2" Flat



Brickmould



RB-3



Adams



Heritage



1" x 4" Backband



2" Historically Accurate Sill Nosing

Clad



Extruded Brickmould



3-1/2" Flat



Adams



Standard Sill Nosing

Clad Colors

Our windows and patio doors with clad-wood exteriors feature protective metal cladding with a baked-on finish that doesn't need to be repainted over time. We provide a number of clad color options, so you can pick a finish that will complement your home.



Brilliant White



French Vanilla



Desert Sand



Mesa Red



Hartford Green



Chestnut Bronze



Black



Arctic Silver



Dark Chocolate

Optional Colors



Bone White



Heirloom White



Ivory



Mocha Cream



Dark Buckskin



Sage Brown



Bronze



Redwood



Sea Foam



Smoke



Cascade



Hunter Green

Actual colors may vary from the samples displayed.

